



COUNCIL MEETING

AGENDA

Wednesday 14 August 2024

Commencing at 7:00pm

**Wycheproof Supper Room
367 Broadway, Wycheproof**

**Jenna Allan
Acting Chief Executive Officer
Buloke Shire Council**

ORDER OF BUSINESS

1. COUNCIL WELCOME AND STATEMENT OF ACKNOWLEDGEMENT

WELCOME

The Mayor Cr Alan Getley will welcome all in attendance.

STATEMENT OF ACKNOWLEDGEMENT

The Mayor Cr Alan Getley will acknowledge the traditional owners of the land on which we are meeting and pay our respects to their Elders and to the Elders from other communities who maybe here today.

2. RECEIPT OF APOLOGIES

3. CONFIRMATION OF MINUTES OF PREVIOUS MEETING

RECOMMENDATION:

That Council adopt the Minutes of the Council Meeting held on Wednesday, 10 July 2024.

4. REQUESTS FOR LEAVE OF ABSENCE

5. DECLARATION OF PECUNIARY AND CONFLICTS OF INTEREST

In accordance with Section 130 (2) of the Local Government Act 2020 Councillors who have a conflict of interest in respect of a matter being considered at this Meeting, must

- a) Disclose the conflict of interest in the manner required by the Council's Governance Rules 2020; and
- a) Exclude themselves from the decision making process in relation to that matter, including any discussion or vote on the matter at any Council meeting or delegated committee, and any action in relation to the matter.

Disclosure must occur immediately before the matter is considered or discussed.

6. QUESTIONS FROM THE PUBLIC

NIL

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	The Meeting may be closed to members of the public to consider confidential matters.	
9.5.1	C124 2023/24 WYCHEPROOF WETLANDS WATER INFRASTRUCTURE CONSTRUCTION	
9.5.2	C119 2023/24 BITUMINOUS SURFACING	
	If the meeting has been closed it will be brought back into open session by resolution	
10.	MEETING CLOSE	

NEXT MEETING

THE NEXT MEETING OF COUNCIL WILL BE HELD IN WYCHEPROOF SUPPER ROOM, 367 BROADWAY, WYCHEPROOF ON WEDNESDAY, 11 SEPTEMBER 2024 AT 7:00PM.

Jenna Allan
ACTING CHIEF EXECUTIVE OFFICER

6. QUESTIONS FROM THE PUBLIC

Nil

7. PROCEDURAL ITEMS

7.1 REPORT OF COUNCILLOR ASSEMBLIES

Author's Title: Executive Assistant

Department: Office of the CEO

File No: GO/05/04

RECOMMENDATION

That the Council note the report of Councillor Assembly Meetings held 3 and 17 July 2024.

Attachments:

- 1 [↓](#) Councillor Briefing Record - 3 July 2024
- 2 [↓](#) Councillor Briefing Record - 17 July 2024

KEY POINTS/ISSUES

Transparency is a fundamental principle of democratic governance.

The Local Government Act 2020 (The Act) Section 9 (2) (i) provides that the transparency of Council decisions, actions and information is to be ensured.

In accordance with Section 57 of The Act, Council at its September 2020 Ordinary Meeting, adopted a Public Transparency policy, designed to improve public transparency in Council's decision-making processes and to assist the community in understanding the information that is accessible to them.

As per the Council Meeting Schedules adopted 9 November 2022 and 8 November 2023, Councillor Briefings are held for Councillors to meet to consider matters that are likely to be the subject of a Council decision or for the exercise of delegation.

A record of the Councillor Briefings held on 3 and 17 July 2024 is attached for public information.



Councillor Briefing Record

Build a Better Buloke – a healthy, connected, inclusive and prosperous community

Date:	3 July 2024	Time	5:00pm
Location:	Charlton District Office		
Attendees:	Councillors and Executive Management Team members, Manager Governance		
Apologies:	Cr Pollard, Cr Stewart		
Guests:	Carolyn Olive – Charlton Forum Albert Stafford – Stafford Strategy Nick Sondhu – Coordinator Economic Development Andrew Rose – Project Officer 2024 Council Elections		
Acknowledgement of Country:	The Mayor will acknowledge the traditional owners of the land on which we are meeting and pay our respects to their Elders and to the Elders from other communities who may be here today.		
Conflicts of Interest:	Nil		

ITEMS

NO.	MATTER FOR DISCUSSION
1.	Councillor only time (5:00pm)
2.	Confirmation of Councillor Briefing Minutes – 19 June 2024 (5:30pm)
3.	Presentations
3.1	Charlton Forum – Carolyn Olive (5:30pm)
3.2	Tourism Consultants – Albert Stafford, Julia Papahatzis and Nick Sondhu (5:45pm)
3.3	Election Update – Andrew Rose (6:05pm)
Dinner Break (6:35pm)	
3.4	Community Support Policy – Gaynor Atkin (POSTPONED)
4.	Councillor Matters (6:55pm)
5.	CEO Updates (7:15pm)
5.1	Draft Agenda and Confidential Agenda for Council Meeting 10 July 2024
NEXT BRIEFING	
17 July 2024, Donald District Office, 5:00pm	



Councillor Briefing Record

Build a Better Buloke – a healthy, connected, inclusive and prosperous community

Date:	17 July 2024	Time	5:00pm
Location:	Donald District Office		
Attendees:	Councillors and Executive Management Team members (Councillor Pollard online)		
Apologies:			
Guests:	Jodie Hollis, Graeme Harris - Donald 2000 Inc representatives Donald High School students and Molly Meadows (NCLLEN) Mark Zuker – JWS Research Trevor Rumbold – Acting Manager Assets		
Acknowledgement of Country:	The Mayor will acknowledge the traditional owners of the land on which we are meeting and pay our respects to their Elders and to the Elders from other communities who may be here today.		
Conflicts of Interest:			

ITEMS

NO.	MATTER FOR DISCUSSION	
1.	Councillor and CEO only time	5:00pm
2.	Confirmation of Councillor Briefing Minutes – 3 July 2024	5:30pm
3.	Presentations	
3.1	Donald 2000 – Jodie Hollis and Graeme Harris	5:30pm
3.2	Youth Engage	5:45pm
3.3	2024 Local Gov't Comm Satisfaction Survey – Results – Mark Zuker, JWS Research	6:00pm
Dinner Break		6:20pm
3.4	Monthly Capital Project Update – Acting Manager Assets - Trevor Rumbold	6:40pm
3.5	Community Support Policy Review – Director Community Dev – Gaynor Atkin	7:00pm
4.	Councillor Matters	7:20pm
4.1	Draft Governance Rules 2025	7:40pm
5.	CEO Updates	8:00pm
	Nil items.	
NEXT BRIEFING		
7 August 2024, Nullawil Community Building, Recreation Reserve, Nullawil, 5:00pm		

7.2 CORRESPONDENCE INITIATED BY COUNCIL

Author's Title: Executive Assistant

Department: Office of the CEO

File No: GO/06/06

PURPOSE

This report notes and records correspondence initiated by Council and informs the Council of the responses received from this correspondence.

RECOMMENDATION

That the Council notes the record of correspondence initiated by Council and the responses received.

Attachments: Nil

TABLE OF CORRESPONDENCE

Council Initiative	Sent to	Sent	Response	Purpose of Letter

7.3 LETTERS OF CONGRATULATIONS AND RECOGNITION OF ACHIEVEMENT/AWARDS

Author's Title: Executive Assistant

Department: Office of the CEO

File No: CR/13/01

PURPOSE

This report acknowledges and congratulates community persons and/or groups for their success in being recognised for a significant achievement or for being a recipient of an honourable award.

The report also informs Council of any letters of congratulations or any recognition of achievement that Council has received or been awarded in the past month.

RECOMMENDATION

That the Council acknowledge and congratulate the persons and/or groups mentioned in the report for their achievements.

Attachments: Nil

RECOGNITION OF ACHIEVEMENT ITEMS

Provider	Recipient	Date	Purpose for Recognition

7.4 STATUS OF ACTION OF PAST COUNCIL MEETING RESOLUTIONS

Author's Title: Executive Assistant

Department: Office of the CEO

File No: GO/05/04

PURPOSE

To provide Council with a list of the Status of Action (SOA) of Council Resolutions outstanding for completion of action, and the SOA for the 10 July 2024 Council Meeting Resolutions.

RECOMMENDATION

Council to note the Status of Action Report for Council resolutions documented on this list.

Attachments: 1 [↓](#)Status of Action on past Council Meeting Resolutions

KEY POINTS/ISSUES

The Local Government Act 2020 (The Act) Section 9 (2) (i) provides that the transparency of Council decisions, actions and information is to be ensured.

In accordance with the Council's Governance Rules adopted August 2022, Council decisions are to be made and actions taken in accordance with the relevant law.

The transparency of Council decisions, actions and information is to be ensured and is a fundamental principle of democratic governance.

Attached to this report for public information is a list of the SOA of Council Resolutions outstanding for completion of action and introducing the SOA for the 10 July 2024 Council Meeting Resolutions.

Summary of Action on Council Resolutions – Outstanding from past Council Meetings & 10 July 2024 CM – Tabled 14 August 2024 Council Meeting

Date	Directorate	Item	Resolution/Question	Actioning Officer/s	Status of Action	Complete or Commenced
02082023	Infrastructure and Delivery	8.2.1	<p>That Council:</p> <ol style="list-style-type: none"> Notes following consultation process in accordance with its Community Engagement Policy, one submission was received to the proposed nine-lot subdivision sale of land at 110 Sutcliffe Street, Sea Lake; Sells nine-lot subdivision surplus land at 110 Sutcliff St, Sea Lake by private treaty or auction in accord sec 114 of the Local Gov Act 2020 and Council's Sale of Land Policy; and Authorises the CEO to execute the Transfer of Land documents and any other documents required to affect the sale of the land. 	Dir Infra & Del	<p>GWMWater approval obtained, procurement for works has commenced. Civil contractor has recommended works.</p> <p>290524 - Plumbing works for water, sewer and stormwater commence in June, final civil works to follow. Valuation complete to inform sale of land process to be undertaken. (MS)</p>	Commenced

Tabled 14 August 2024 Council Meeting

7.5 PLANNING APPLICATIONS RECEIVED - MONTHLY UPDATE

Author's Title: Planning Officer

Department: Community Development

File No: LP/09/01

PURPOSE

This report provides information on planning applications under consideration and the status of each of these applications.

RECOMMENDATION

That Council note the information contained in the report on planning applications under consideration and the status of each of these applications.

Attachments: Nil

LIST OF PLANNING APPLICATIONS

Application No	Address	Date Rec	Summary of Proposal	Status
PA23026	Horace Street, Sea Lake	06/09/2023	Construct and display internally illuminated business identification sign (LED priceboard)	Review
PA24011	McLoughlans Road, Warmur	12/04/2024	Use and development of land for a dwelling in the Farming Zone within the setback to a proposed wind energy facility	Report to Council
PA24012	Aitken Avenue, Donald	19/04/2024	Building and works to construct and display a sign	Notice of Application
PA24016	Church Road, Jeffcott	20/05/2024	Use and development of land for a dwelling and associated outbuilding	Permit Issued
PA24017	Sunraysia Highway, Donald	28/05/2024	Works for the construction of a new site entrance, internal driveways and weigh bridge, and to create an access to a road in a Transport 2 Zone	Review
PA24018	Charlton-St Arnaud Road, Charlton	25/05/2024	Building and works to demolish an existing building and construct a new warehouse and minor modifications to existing warehouse	Review
PA24019	Goddard Road, Teddywaddy West	11/05/2024	Two lot subdivision of land (rural dwelling excision)	Report to Council

Application No	Address	Date Rec	Summary of Proposal	Status
PA24020	Sea Lake-Swan Hill Road, Sea Lake	14/06/2024	Building and works to construct and display a double-sided, non-illuminated, major promotion sign	Review
PA24021	Calder Highway, Sea Lake	25/06/2024	Building and works to construct and display a double-sided, non-illuminated, major promotion sign	Review
VS24006	Industry Drive, Donald	23/05/2024	Building and works for the construction of two buildings (two 10m wide x 13.5m L x 5.47m H sheds) and associated works	Request for further information
VS24009	Elston Road, Wycheproof	24/07/2024	Construction of a building (12m x 9m garage) within a setback to a waterway	New
VS24010	Peel Street, Charlton	24/07/2024	Construction of a building (3.5m x 8.3m shed) in a Heritage Overlay	New

The information published in the list provided, is in accordance with the *Privacy and Data Protection Act 2014* and the *Planning and Environment Act 1987*.

7.6 BUILDING PERMITS - MONTHLY UPDATE

Author's Title: Statutory Administration Support

Department: Community Development

File No: DB14/01

EXECUTIVE SUMMARY

This report provides information on Building Permits approved by staff from 1 July 2024 to 31 July 2024.

RECOMMENDATION

That the Council note information contained in the report on Building Permits approved by staff from 1 July 2024 to 31 July 2024.

Attachments: Nil

LIST OF BUILDING PERMITS APPROVED BY COUNCIL SURVEYOR

Council Ref No.	Address	Project Description	Date Approved
20240008	17 Gunyah Flat Charlton VIC 3525	Single car carport and a shed.	17/07/2024
20240009	81 Best STREET Sea Lake VIC 3533	Park Shelter	17/07/2024
20240015	662 Watchupga East ROAD Willangie VIC 3485	Construction of a swimming pool or spa	29/07/2024

LIST OF PRIVATE BUILDING PERMITS REVIEWED BY COUNCIL SURVEYOR

Council Ref No.	Address	Project Description	Date Approved
PBLD24053	305 Walsh ROAD Litchfield VIC 3480	Farm Shed	05/07/2024
PBLD24044	41 High Street Wycheproof VIC 3527	Alterations & Additions to Existing Dwelling & Construction of Garage, Shed, Swimming Pool & Associated Safety Barriers	10/07/2024
PBLD24040	CA 58 Watchem-Corack Road CORACK VIC 3480	Hay Shed	11/07/2024
PBLD24048	LP202750U Racecourse Road Donald VIC 3480	Farm Machinery Storage Shed	16/07/2024
PBLD23095	88 Curtis Road Springfield (Sea Lake) Victoria 3544	Extension to Existing Dwelling	17/07/2024
PBLD24054	25 Railway AVENUE Sea Lake VIC 3533	Construction of Multiple Dwellings Development (Cabins 1 & 2)	17/07/2024
PBLD24055	853 Morton Plains West ROAD Warmur VIC 3482	Farm Shed	17/07/2024
PBLD24052	3503 Waitchie Road Tyrrell Downs Vic 3533	Construction of Shed	23/07/2024

8. GENERAL BUSINESS

8.1 POLICY REPORTS

Nil

8.2 MANAGEMENT REPORTS

8.2.1 PLANNING PERMIT APPLICATION PA24011 - USE AND DEVELOPMENT OF LAND FOR A DWELLING - MCLOUGHLANS ROAD, WARMUR

Author's Title: Senior Planning Officer

Department: Community Development

File No: LP/09/01

Relevance to Council Plan 2021 - 2025

Strategic Objective: Our Built and Natural Environment

PURPOSE

The purpose of this report is for Council to consider this planning permit application and as the Responsible Authority, resolve to issue a Notice of Decision to Grant a Permit or issue a Notice of Refusal.

SUMMARY

A planning permit has been received by Council on the 3rd April 2024 for the use and development of land for a dwelling in the Farming Zone within the setback to a proposed wind energy facility *for* which an action has been taken under section 8(1), 8(2), 8(3) or 8(4) of the *Environment Effects Act 1978*. The address for the application is McLoughlans Road, Warmur (Lot 1 TP674588). The proposal is to locate a two-bedroom, transportable unit in the south-west corner of Lot 1 TP674588, 100 metres from the southern boundary and 170 metres from the western boundary. Access to the dwelling is available from McLoughlans Road.

The application has come to Council as the Responsible Authority for a decision as there are unresolved objections to the application.

RECOMMENDATION

That Council issue a Notice of Refusal to Grant a Permit in relation to Planning Application No. PA24011 in respect of the land known and described as McLoughlans Road, Warmur (Lot 1 TP674588), for the use and development of land for a dwelling in accordance with the plans, with the application dated 3 April 2024, on the following grounds:

1. The proposal does not provide for orderly planning.
2. The proposal does not meet the net community benefit consideration.

Attachments:

- 1 [Site Plan](#)
- 2 [Elevation Drawings](#)
- 3 [Proposed Wind Energy Facility Mapping](#)

DISCUSSION

A planning permit has been received by Council on the 3rd April 2024 for the use and development of land for a dwelling in the Farming Zone within the setback to a proposed wind energy facility for which an action has been taken under section 8(1), 8(2), 8(3) or 8(4) of the *Environment Effects Act 1978*.

The address for the application is McLoughlans Road, Warmur (Lot 1 TP674588). The proposal is to locate a two-bedroom, transportable unit in the south-west corner of Lot 1 TP674588, 100 metres from

the southern boundary and 170 metres from the western boundary. Access to the dwelling is available from McLoughlans Road.

The allotment has an area of 129 hectares and is currently utilised as dryland farming and grazing land. The site of the proposed dwelling has been used for a dwelling in the past. Scattered native vegetation is present at the site. The subject allotment adjoins an allotment in the same ownership to the east. The allotment is adjoined by dryland farming and grazing land on the north, west and east boundaries. The southern boundary adjoins the sealed Warracknabeal-Birchip Road, a road within the principal road network and is zoned TRZ2 – Principal Road network. The land further to the south over the Warracknabeal-Birchip Road is farming and grazing land.

The subject land is zoned Farming Zone (FZ), and a portion of land on the eastern boundary is subject to the Vegetation Protection Overlay (VPO). The site for the proposed dwelling is unaffected by the VPO.

Assessment

Farming Zone

The purpose of the Farming Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide for the use of land for agriculture.
- To encourage the retention of productive agricultural land.
- To ensure that non-agricultural uses, including dwellings, do not adversely affect the use of land for agriculture.
- To encourage the retention of employment and population to support rural communities.
- To encourage use and development of land based on comprehensive and sustainable land management practices and infrastructure provision.
- To provide for the use and development of land for the specific purposes identified in a schedule to this zone.

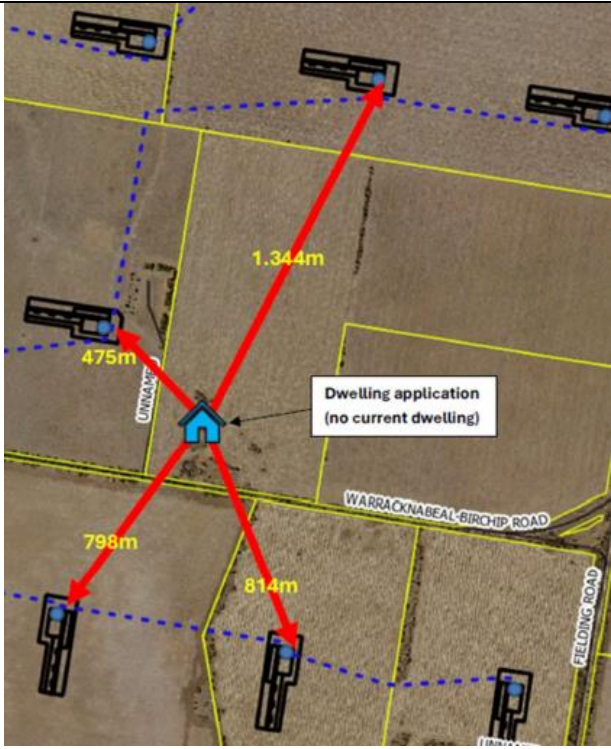
In accordance with Clause 35.07-1 Table of Uses, a permit is required to use land for a dwelling within 1 kilometre from the nearest title boundary of land subject to a proposed wind energy facility for which an action has been taken under section 8(1), 8(2), 8(3) or 8(4) of the Environment Effects Act 1978.

“Dwelling” is a Section 1 use – Permit not required, providing the criteria in the table of uses are met. In this case, the criteria have not been met, therefore it becomes a Section 2 use – Permit required.

In accordance with Clause 35.07-4, a permit is required to construct a building or carry out works associated with a use in Section 2 of Clause 35.07-1.

Decision Guidelines – Farming Zone	Comments
The Municipal Planning Strategy and the Planning Policy Framework.	<i>These have been considered, please see discussion below.</i>
The capability of the land to accommodate the proposed use or development, including the disposal of effluent.	<i>The land has the capacity to accommodate a dwelling and the allotment is large enough to accommodate the disposal of effluent.</i>
How the use or development relates to sustainable land management.	<i>The proposed use and development will not have a significant impact on sustainable land management. The proposed site is within scattered trees, no native vegetation is proposed to be removed.</i>
Whether the site is suitable for the use or development and whether the proposal is compatible with adjoining and nearby land	<i>The proposed dwelling is compatible with adjoining agricultural uses, the site incorporates buffer zones sufficient to mitigate the impacts of agricultural operations. The dwelling has the</i>

uses.	<i>potential to be incompatible with the proposed wind energy facility.</i>
How the use and development makes use of existing infrastructure and services.	<i>The proposed use and development has access to a sealed road.</i>
Whether the use or development will support and enhance agricultural production.	<i>The proposed dwelling will have no significant impact on agricultural production.</i>
Whether the use or development will adversely affect soil quality or permanently remove land from agricultural production.	<i>The proposed dwelling will not adversely affect the quality of agricultural land. The proposed dwelling is to be located within scattered trees and this land is not being used for crop production. A minor amount of grazing opportunity may be lost.</i>
The potential for the use or development to limit the operation and expansion of adjoining and nearby agricultural uses.	<i>The proposed dwelling will not limit the operation and expansion of adjoining and nearby agricultural uses.</i>
Whether the dwelling will result in the loss or fragmentation of productive agricultural land.	<i>The proposed dwelling will not result in the loss or fragmentation of productive agricultural land.</i>
Whether the dwelling will be adversely affected by agricultural activities on adjacent and nearby land due to dust, noise, odour, use of chemicals and farm machinery, traffic and hours of operation.	<i>The siting of the proposed dwelling incorporates buffer zones sufficient to mitigate the impact of agricultural operations</i>
Whether the dwelling will adversely affect the operation and expansion of adjoining and nearby agricultural uses.	<i>The proposed dwelling will not adversely affect the operation and expansion of adjoining and nearby agricultural uses.</i>
The potential for the proposal to lead to a concentration or proliferation of dwellings in the area and the impact of this on the use of the land for agriculture.	<i>The proposal has limited potential to lead to a concentration of dwellings in the immediate area.</i>
<p>The potential for accommodation to be adversely affected by noise and shadow flicker impacts if it is located within one kilometre from the nearest title boundary of land subject to:</p> <ul style="list-style-type: none"> • A permit for a wind energy facility; or • An application for a permit for a wind energy facility; or • An incorporated document approving a wind energy facility; or • A proposed wind energy facility for which an action has been taken under section 8(1), 8(2), 8(3) or 8(4) of the <i>Environment Effects Act 1978</i>. 	<i>The proposed dwelling is likely to be adversely affected by noise and shadow flicker impacts. The proposed location of the dwelling is within 1 kilometre of the boundary of the proposed wind farm (north, south and west). The nearest proposed turbine is potentially 475 metres to the northwest of the proposed site. Two turbines are proposed to be located approximately 800 metres to the southwest and southeast. Further turbines are proposed approximately 1300 metre to the north.</i>

	 <p>(Source: West Wind Energy)</p>
<p>The impact of the proposal on the natural physical features and resources of the area, in particular on soil and water quality.</p>	<p><i>The proposed dwelling will not have a significant negative impact on soil and water quality.</i></p>
<p>The impact of the use or development on the flora and fauna on the site and its surrounds.</p>	<p><i>The proposed dwelling will not have a significant negative impact on the flora and fauna on the site.</i></p>
<p>The location of on-site effluent disposal areas to minimise the impact of nutrient loads on waterways and native vegetation.</p>	<p><i>The site is of sufficient area to be able to minimise the impact of nutrient loads on waterways and native vegetation. No waterways are in the immediate area.</i></p>
<p>The need to locate buildings in one area to avoid any adverse impacts on surrounding agricultural uses and to minimise the loss of productive agricultural land.</p>	<p><i>The proposed dwelling is intended to be sited so as to avoid any adverse impacts on surrounding agricultural uses and to minimise the loss of productive agricultural land.</i></p>
<p>The need to locate and design buildings used for accommodation to avoid or reduce noise and shadow flicker impacts from the operation of a wind energy facility if it is located within one kilometre from the nearest title boundary of land subject to:</p> <ul style="list-style-type: none"> • A permit for a wind energy facility; or • An application for a permit for a wind energy facility; or • An incorporated document approving a wind energy facility; or • A proposed wind energy facility for which an action has been taken under section 8(1), 8(2), 8(3) or 8(4) 	<p><i>The proposed dwelling has been located with no regard to potential impacts from the operation of a wind energy facility. No measures have been proposed by the applicant to avoid or reduce noise and shadow flicker impacts from the operation of a wind energy facility.</i></p>

of the Environment Effects Act 1978.	
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Particular Provisions**Clause 52.29 Land Adjacent to the Principal Road Network**

The land adjoins a TRZ2 – a road in the principal road network. A planning permit is required to create or alter access to a Transport Zone 2. Planning permit PA23029 allows access to the TRZ2.

Policy**Municipal Planning Strategy**

The following Municipal Planning Strategies have been considered as part of this application:

02 MUNICIPAL PLANNING STRATEGY**02.03-1 Settlement and housing**

Council's strategic directions for settlement and housing include:

- Encouraging residential and economic development in the main townships that have reticulated infrastructure including Birchip, Charlton, Donald, Sea Lake and Wycheproof.
- Responding and adapting to population decline.

02.03-3 Environmental risk and amenity

Council's strategic directions for environmental risks and amenity include:

- Adapting to climate change and mitigating its risks.

02.03-4 Natural resource management

Council's strategic directions for natural resource management include:

- Sustainably managing natural resources and agricultural land.
- Protecting valuable agricultural land from inappropriate development.
- Encouraging sustainable farming practices.
- Supporting, promoting and facilitating sustainable, diverse and viable agriculture to provide for long-term economic, social and environmental health.

02.03-6 Economic development

Council's strategic directions for economic development include:

- Encouraging and managing sustainable agriculture as the economic foundation of the municipality.
- Encouraging economic development and activity that increases opportunities for the community.
- Encouraging renewable energy production to locate in the Shire.

Comments:

The proposed dwelling will not remove productive agricultural land, nor will it impact on nearby agricultural uses.

Council strategic policy supports the location of renewable energy facilities in the Shire. The proposed wind energy facility provides an alternate income stream to host landowners, however the extended community will also benefit.

Planning Policy Framework**11 SETTLEMENT****11.01 VICTORIA****11.01-1S Settlement**

Strategy - Deliver prosperous and sustainable settlements by contributing to net zero greenhouse gas emissions through renewable energy infrastructure and energy.

Comments:

State policy supports the development of renewable energy generation and infrastructure, responding to the State's future energy needs.

13 ENVIRONMENTAL RISKS AND AMENITY

13.02 BUSHFIRE

13.02-1S Bushfire planning

Objective - To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.

13.07 AMENITY, HUMAN HEALTH AND SAFETY

13.07-1S Land use compatibility

Objective – To protect community amenity, human health and safety while facilitating appropriate commercial, industrial, infrastructure or other uses with potential adverse off-site impacts.

Strategies include: Ensuring that use or development of land is compatible with adjoining and nearby land uses

13.07-1L-01 Amenity protection – General

Objective - To encourage use and development without compromising residential amenity or agricultural land use.

Comments:

The use and development of land for a dwelling will not increase bushfire hazard. The site is not a particularly high-risk location. Bushland is relatively sparse, and the surrounding land has been cleared for agricultural use. The proposed dwelling is unlikely to impact surrounding agricultural land uses. However, the proposed dwelling is likely to be affected by amenity impacts resulting from the proposed wind energy facility.

14 NATURAL REOSURCE MANAGEMENT

14.01 AGRICULTURE

14.01-1S and 14.01-1L-01 Protection of agricultural land

Objective - To protect the state's agricultural base by preserving productive farmland.

14.01-2S Sustainable agricultural land use

Objective - To encourage sustainable agricultural land use.

Strategies include: Supporting adaptation of the agricultural sector to respond to the potential risks arising from climate change and assisting genuine farming enterprises to embrace opportunities and adjust flexibly to market changes.

14.01-2L Sustainable agriculture and rural industry

Objective - To support the viability and diversification of agriculture and the processing of agricultural products grown within the municipality.

Strategies include: Encouraging and supporting innovative agriculture, agricultural diversification and sustainable farming practices, especially where they respond or adapt to the effects of climate change.

Comments:

The proposed dwelling will not permanently remove agricultural land from the state's agricultural base. However, it is state policy to limit new housing development in rural areas by directing housing growth into existing settlements. Furthermore, the dwelling is not required for the direct management of this allotment. It is local policy to discourage use and development in the Farming Zone that is sensitive to off-site effects such as sprays and odour.

The proposal is unlikely to affect the long-term sustainable use and management of the land. State policy encourages diversification and value-adding in the agricultural sector, supporting opportunities that promote flexibility to market changes, such as the proposed wind energy facility. Local policy encourages innovative agriculture, agricultural diversification and sustainable farming practices, especially where they respond or adapt to the effects of climate change.

15 BUILT ENVIRONMENT AND HERITAGE**15.01 BUILT ENVIRONMENT****15.01-6S Design for rural areas**

Objective - To ensure development respects valued areas of rural character.

Comments:

The siting, scale and appearance of the proposed dwelling is consistent with the rural character of the area. The proposal would not impede on any rural landscapes or significant natural scenery.

17 ECONOMIC DEVELOPMENT**17.01 EMPLOYMENT****17.01-1R Diversified economy – Loddon Mallee North**

Strategy - Support emerging and potential growth sectors such as nature-based tourism, mining and renewable energy generation and protect these activities from urban encroachment.

Comments:

The proposed wind energy facility will contribute to a diversified economy in Buloke.

19 INFRASTRUCTURE**19.01 ENERGY****19.01-1S Energy Supply**

Objective - To facilitate appropriate development of energy supply infrastructure.

Strategy - Facilitate energy infrastructure projects that help diversify local economies and improve sustainability and social outcomes and support the development of energy generation, storage, transmission, and distribution infrastructure to transition to a low-carbon economy.

19.01-2S Renewable energy

Objective - To support the provision and use of renewable energy in a manner that ensures appropriate siting and design considerations are met.

Strategies:

- Consider the economic, social and environmental benefits to the broader community of renewable energy generation while also considering the need to minimise the effects of a proposal on the local community and environment.

19.01-2L Renewable energy in Buloke

Objective - To facilitate the development of a more sustainable, renewable energy industry.

Strategy - Encourage the upgrade of existing energy infrastructure to accommodate renewable energy projects.

Comments:

The proposed wind energy facility is consistent with policy in the Buloke Planning Scheme.

The decision guidelines of Clause 65

Before deciding on an application or approval of a plan, the responsible authority must consider, as appropriate:

Decision Guidelines	Comments
Any significant effects the environment, including the contamination of land, may have on the use or development.	<i>The subject land is not likely to be contaminated and is not highlighted on the EPA Register. The environment will not have a significant effect on the proposed use and development.</i>
The Municipal Planning Strategy and the Planning Policy Framework.	<i>These have been considered, see previous.</i>
The purpose of the zone, overlay or other provision.	<i>The proposed dwelling is not inconsistent with the purpose of the zone.</i>
Any matter required to be considered in the zone, overlay or other provision.	<i>These have been addressed.</i>
The orderly planning of the area.	<i>The proposal is not considered orderly planning as no measures are proposed to mitigate the impact of the proposed wind energy facility on the proposed dwelling, and no measures are proposed to mitigate the effect of the proposed dwelling on the wind energy facility. A dwelling at that location is not essential for the successful operation of the existing farm enterprise.</i>
The effect on the environment, human health and amenity of the area.	<i>The proposed use and development is not likely to have a significant impact on the environment, human health or amenity of the area.</i>
The proximity of the land to any public land.	<i>There is no public land in close proximity.</i>
Factors likely to cause or contribute to land degradation, salinity or reduce water quality.	<i>The proposed use and development will not have a significant impact on land degradation or reduce water quality.</i>
Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.	<i>The use and development will not have an impact on stormwater exiting the site.</i>
The extent and character of native vegetation and the likelihood of its destruction.	<i>Not applicable – no vegetation is to be removed.</i>
Whether native vegetation is to be or can be protected, planted or allowed to regenerate.	<i>Not applicable – no vegetation is to be removed.</i>
The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.	<i>The proposed use and development will not significantly contribute to an increase in flood, erosion or fire hazard.</i>
The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.	<i>The allotment is of sufficient area to facilitate the loading and unloading of vehicles.</i>

The impact the use or development will have on the current and future development and operation of the transport system.	<i>The dwelling will not generate a large number of traffic movements. Most traffic movement will be passenger vehicles.</i>
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Key Issues

- In accordance with Clause 1.0 of the Schedule to Clause 35.07 Farming Zone, the minimum area for which no permit is required to use land for a dwelling is 40 hectares. The land is 129 hectares in area and therefore the use of land for a dwelling is an 'as of right' use, provided all criteria in 35.07-1 Table of uses - Section 1 – permit not required are met.
- On 11 December 2023 West Wind Energy sought the advice of the Minister for Planning as to whether an Environmental Effects Statement (EES) should be prepared under section 8(3) of the Environmental Effects Act 1978 for the Wilkur Energy Park.
- The request to seek advice of the Minister was an action taken under section 8(3) of the Environment Effects Act 1978 and, as such, various accommodation uses, including dwelling, located within one kilometre from the nearest title boundary of land subject to a proposed wind energy facility for which an action has been taken under section 8(1), 8(2), 8(3) or 8(4) of the *Environment Effects Act 1978* do not meet the criteria for a Section 1 use and therefore require a Planning Permit under clause 35.07-1 of the Farming Zone of the Buloke Planning Scheme.
- The proposal has the potential to impact on the proposed wind energy project and the applicant has not sought to mitigate any impacts the proposed dwelling may have on the wind energy project. The applicant has not sought to provide any measures to mitigate the impact the wind energy facility may have on the proposed dwelling. A dwelling at the proposed location is not essential for the successful operation of the existing farm enterprise.
- At Clause 71.02-3 - Integrated decision making – the Buloke Planning Scheme provides: Responsible Authorities should endeavour to integrate the range of planning policies relevant to the issues to be determined and balance conflicting objectives in favour of net community benefit and sustainable development for the benefit of present and future generations.

RELEVANT LAW

The application is being assessed in accordance with the *Planning and Environment Act 1987*.

RELATED COUNCIL DECISIONS

Planning permit PA23029 was issued on the 20 November 2023. The permit allows the creation of a new access to the principal road network.

OPTIONS

Council, as the Responsible Authority, could resolve to issue a Notice of Decision to Grant a Permit.

SUSTAINABILITY IMPLICATIONS

There are no significant sustainability implications. The establishment of a dwelling at this location may cause disruption to the development of the proposed wind energy facility. The site may not be a sustainable site for a dwelling due to the effects of the proposed wind energy facility.

COMMUNITY ENGAGEMENT

The application has been advertised pursuant to Section 52 of the *Planning and Environment Act 1987*, by:

- Sending notices to the owners and occupiers of adjoining land.

Council has received 4 objections to date. The key issues that were raised in the objections are:

- Negative impacts of the dwelling on surrounding agricultural land uses.
- Questionable intent behind application, as the Applicant is publicly opposed to the Wind Energy Facility. (*not a planning consideration*)
- Negatively impact potential future development of Wind Energy Facility which would provide benefit to the community, including employment opportunities, benefits to community organisations, financial benefit to Council, and benefit to the environment.
- Financial impact to host sites. (*not a planning consideration*)
- Proposal has no regard to the proximity of the proposed dwelling to the Wilkur Energy Park Project.
- The proposed dwelling has an unreasonable opportunity to be impacted by the Wind Energy Facility.
- The application makes no attempt to respond to the accommodation issues of decision guidelines of Clause 35.07-6 of the Farming Zone, in particular:

The potential for accommodation to be adversely affected by noise and shadow flicker impacts if it is located within one kilometre from the nearest title boundary of land subject to:

- A permit for a wind energy facility; or
 - An application for a permit for a wind energy facility; or
 - An incorporated document approving a wind energy facility; or
 - A proposed wind energy facility for which an action has been taken under section 8(1), 8(2), 8(3) or 8(4) of the Environment Effects Act 1978.
- The application has no regard to the design and siting issues of the decision guidelines of Clause 35.07-6 of the Farming Zone, in particular:

The need to locate and design buildings used for accommodation to avoid or reduce noise and shadow flicker impacts from the operation of a wind energy facility if it is located within one kilometre from the nearest title boundary of land subject to:

- A permit for a wind energy facility; or
 - An application for a permit for a wind energy facility; or
 - An incorporated document approving a wind energy facility; or
 - A proposed wind energy facility for which an action has been taken under section 8(1), 8(2), 8(3) or 8(4) of the Environment Effects Act 1978.

Consultation

Consultation was undertaken and included:

- Objections supplied to applicant to provide right of reply to objections.
- Applicant right of reply supplied to objectors.
- Objectors and applicant individually consulted.
- West Wind Energy offered to meet and discuss impact mitigation with applicant (e.g. review turbine locations, planting vegetation buffer)
- The applicant declined any communication with West Wind Energy, therefore it was decided that a mediation meeting would not be beneficial.

INNOVATION AND CONTINUOUS IMPROVEMENT

Not applicable.

COLLABORATION

External Referrals/Notices Required by the Planning Scheme:

Referrals/Notice	Advice/Response/Conditions
Section 55 Referrals	n/a
Section 52 notices	Notice sent to West Wind Energy

Internal Council Referrals	Advice/Response/Conditions
n/a	
n/a	

FINANCIAL VIABILITY

The subject matter of this report does not have significant budgetary implications or considerations.

REGIONAL, STATE AND NATIONAL PLANS AND POLICIES

Policy has been discussed in the discussion section of this report.

COUNCIL PLANS AND POLICIES

Not applicable.

TRANSPARENCY OF COUNCIL DECISIONS

In order to promote transparency, Council will consider this resolution in on open meeting.

CONFLICTS OF INTEREST

No officer involved in the preparation of this report has a conflict of interest in the subject matter of this report.

1cm = 38 metres



X = WHERE I'D LIKE TO PUT A SINGLE-STOREY
RE-LOCATABLE HOUSE (BUILT OFF-SITE + SHIPPED IN).

IT IS AN OLD HOUSE-YARD FROM 30-40 YRS AGO.

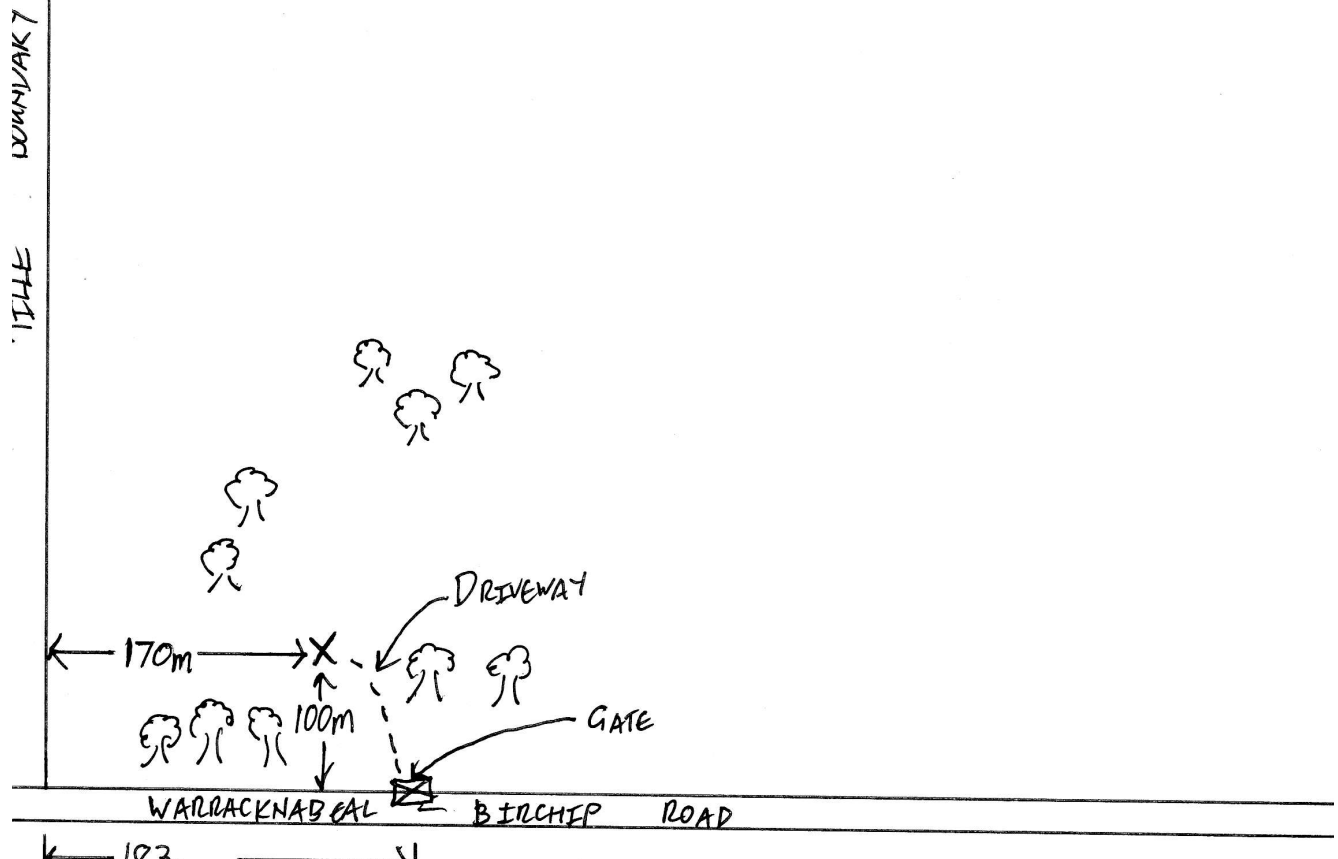
PHOTO 1 - GATEWAY

PHOTO 2 - LOOKING WEST ON W'BEAL - BIRCHIP RD.

PHOTO 3 - LOOKING EAST ON " " "

PHOTO 4 - LOOKING AT OLD HOUSE SITE.

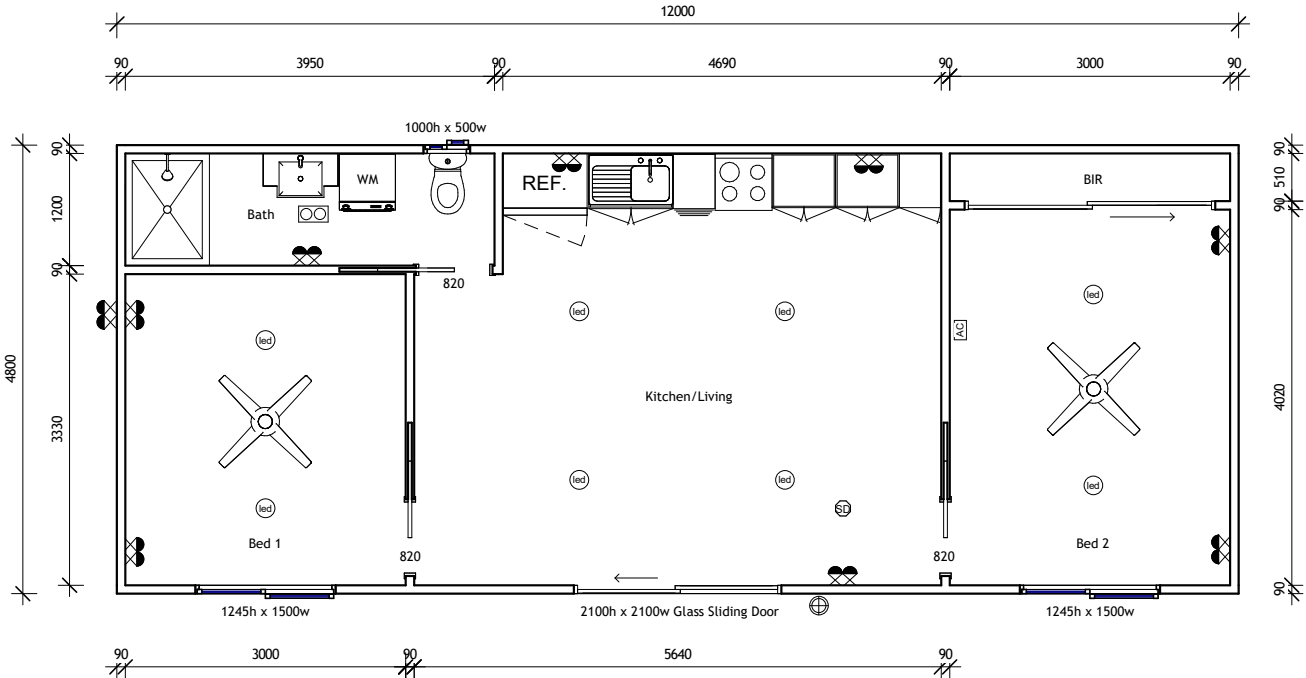
PHOTO 5 - LOOKING STH FROM OLD HOUSE SITE TO ROAD 100m AWAY.



Window Schedule			
Mark	Width	Height	Comments
1	1500	1245	Aluminium Sliding Window
2	1500	1245	Aluminium Sliding Window
4	500	1000	Aluminium Sliding Window

Door Schedule			
Mark	Width	Height	Comments
1	2140	2140	Aluminium Frame Glass Sliding Door
2	820	2040	Internal Cavity Sliding Door
3	820	2040	Internal Cavity Sliding Door
4	820	2040	Internal Cavity Sliding Door
5	2600	2120	BIR Sliding Doors

Natural Light & Ventilation Calculation			
Space	Floor Area	Total Area of External Openings	Total Area of External Windows
Bed 1	10m2	0.9m2	1.7m2
Bed 2	12m2	0.9m2	1.7m2
Bath	4.7m2	0.2m2	0.4m2
Kitch/Living	24.8m2	2.2m2	4.1m2



1 Floor Plan
1 : 50

Smoke Detector connected to Mains Power and having a standby power supply in accordance with AS 3786-2014

LEGEND	
	Double GPO Outlet
	9w LED Downlight
	IXL Tastic - 2 x 275w Heat Globe/ 6w LED Light/ 65w Exhaust Fan
	Split System Air Conditioning
	8.5w LED Outdoor Sensor Light



WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE.
DO NOT SCALE DRAWING.
Registered Building Practitioner
DB-U 70685

Wallace
Transportable Units
0499 110 807
PO Box 7
Lascelles VIC 3487



3755 Birchip/Warracknabeal Rd
Warmur VIC 3483

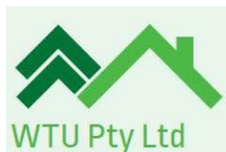
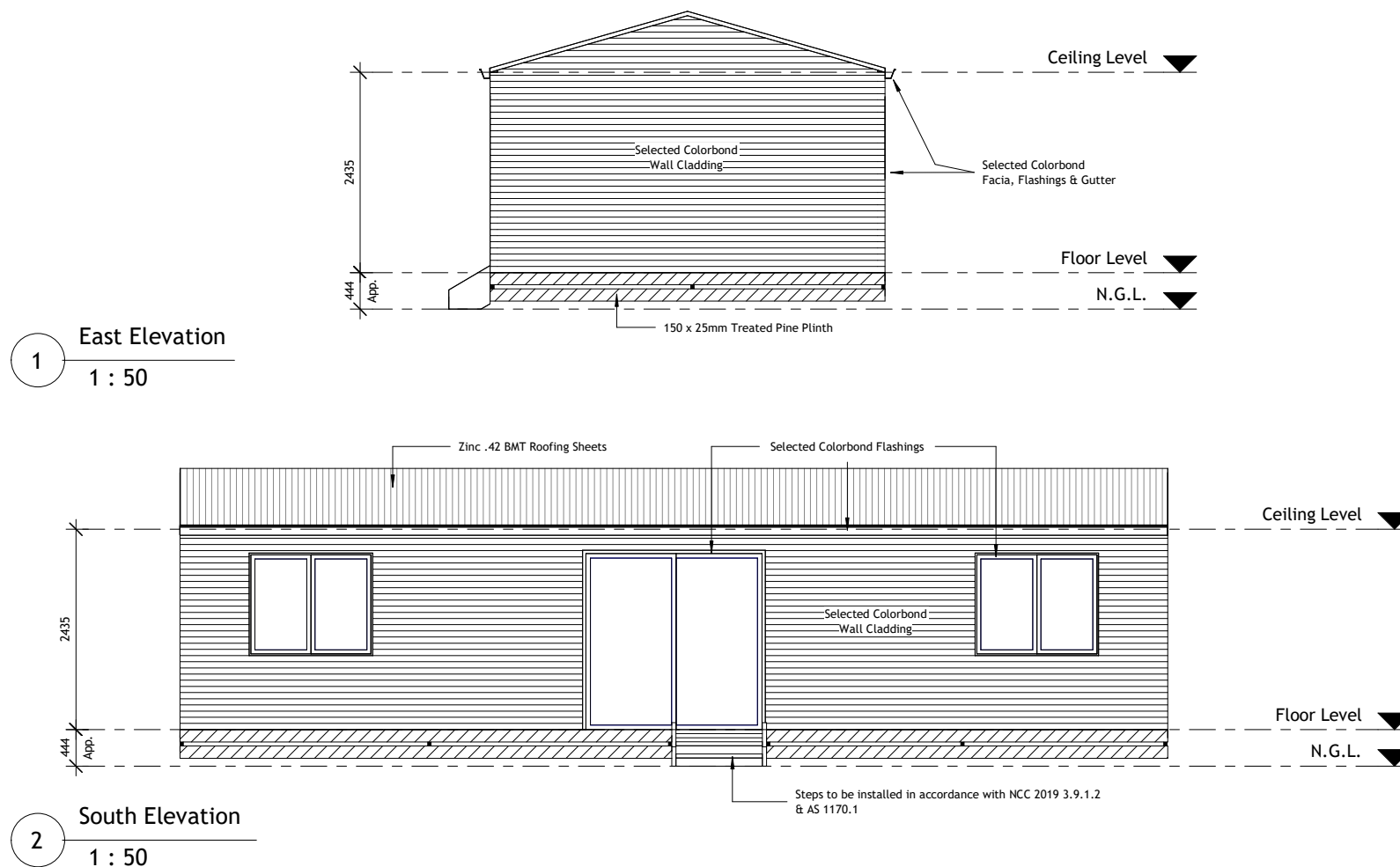
FLOOR PLAN

Project number	WTU_Chivell_24
Date	20/3/24
Drawn by	BG
Checked by	SP

1 OF 7

Scale 1 : 50

NOTE: - ALL COLORBOND CLADDING TO BE FIXED IN ACCORDANCE WITH
MANUFACTURERS SPECIFICATIONS & AS 3500.3



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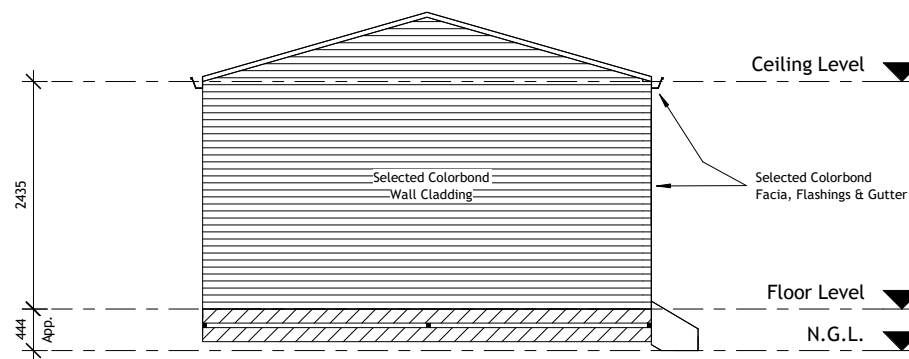


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Warmur VIC 3483

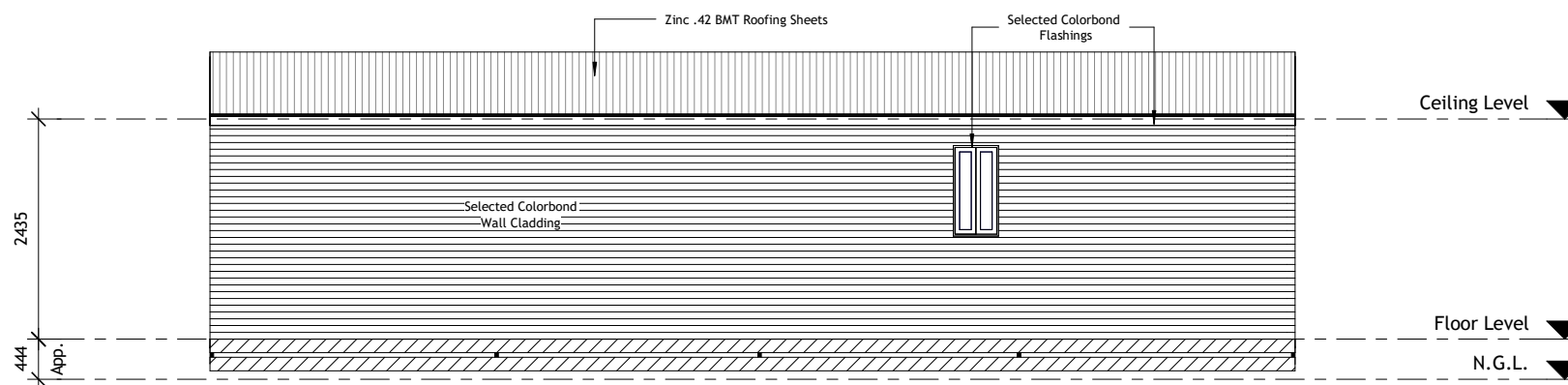
ELEVATIONS

Project number	WTU_Chivell_24	2 OF 7
Date	20/3/24	
Drawn by	BG	
Checked by	SP	Scale
		1 : 50

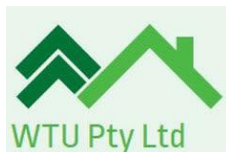
NOTE: - ALL COLORBOND CLADDING TO BE FIXED IN ACCORDANCE WITH
MANUFACTURERS SPECIFICATIONS & AS 3500.3



1 West Elevation
1 : 50



2 North Elevation
1 : 50



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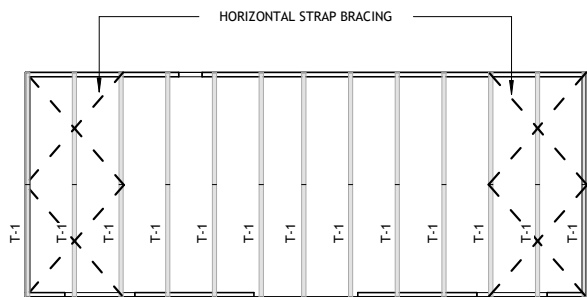
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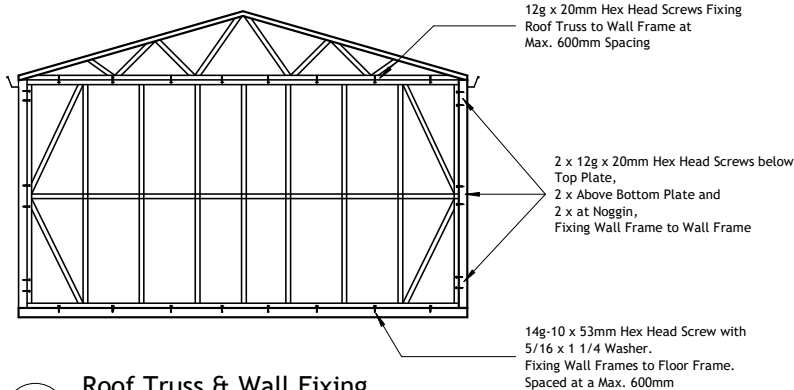
3755 Birchip/Warracknabeal Rd
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ELEVATIONS

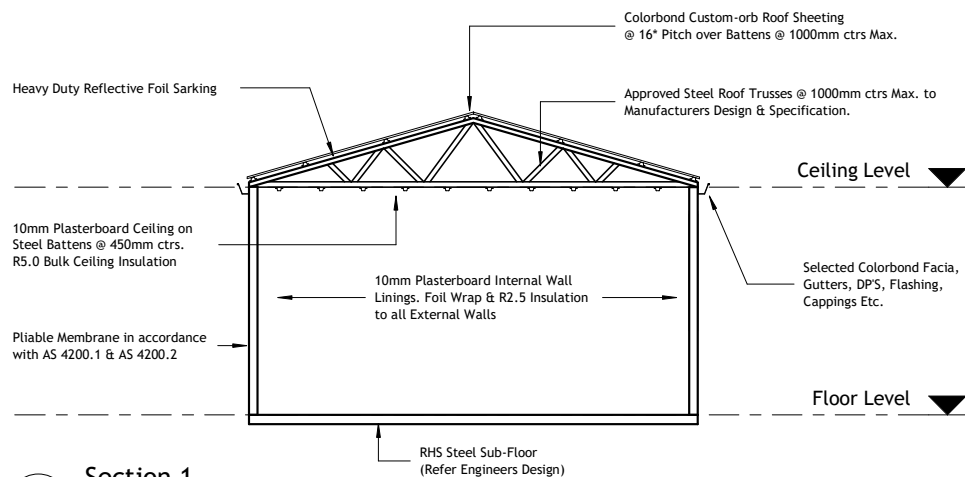
Project number	WTU_Chivell_24	3 OF 7
Date	20/3/24	
Drawn by	BG	
Checked by	SP	Scale
		1 : 50



1
Roof Framing & Bracing Plan
1 : 100



2
Roof Truss & Wall Fixing
1 : 50



3
Section 1
1 : 50

WATERPROOFING OF ALL WET AREAS TO COMPLY WITH NCC 2022 H4D2 & AS 3740

- 10mm WET AREA PLASTERBOARD WALL LINING USED THROUGHOUT SANITARY FACILITIES
- WALL TO FLOOR JUNCTIONS TO BE WATERPROOF & SEALED
- ALL SERVICE PENETRATIONS TO BE WATERPROOFED & SEALED
- COMMERCIAL GRADE NON-SLIP VINYL FLOORING THROUGHOUT AMENITIES
- PROVIDE 200mm HIGH TILED SPLASH BACK TO BASIN

FRAMING SCHEDULE

R.L.W 6000mm SHEET ROOF

WALL FRAMES 2435mm HIGH (RESIDENCE)

STUDS 89 X 41 X .75mm Steel @ 600mm CTRS
TOP PLATES 89 X 41 X .75mm Steel
BOTTOM PLATE 89 X 41 X .75mm Steel (CONTINUOUS SUPPORT)
JAMB STUDS 89 X 41 X .75mm Steel TO OPENINGS UP TO 1500mm WIDE
JAMB STUDS 89 X 41 X .75mm Steel TO OPENINGS UP TO 2300mm WIDE
JAMB STUDS 89 X 41 X .75mm Steel TO OPENINGS UP TO 4500mm WIDE

ROOF TRUSSES AT 1000mm CTRS

REFER TO ENGINEERS COMPUTATIONS /
OR MANUFACTURERS SPECIFICATIONS FOR CONSTRUCTION DETAILS
DOMESTIC METAL FRAMING, BRACING & TIE DOWN TO COMPLY WITH AS 3623/1993

CONDENSATION MANAGEMENT

KITCHEN EXHAUST SYSTEM TO HAVE A MINIMUM FLOW RATE OF 40L/s & BATHROOM EXHAUST SYSTEM TO HAVE A MINIMUM FLOW RATE OF 25L/s AS PER NCC 2022 H4D2



WRITTEN DIMENSIONS TO TAKE
PRECEDENCE OVER SCALE.

DO NOT SCALE DRAWING.

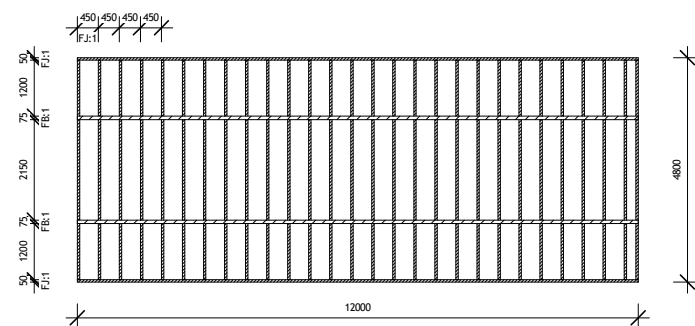
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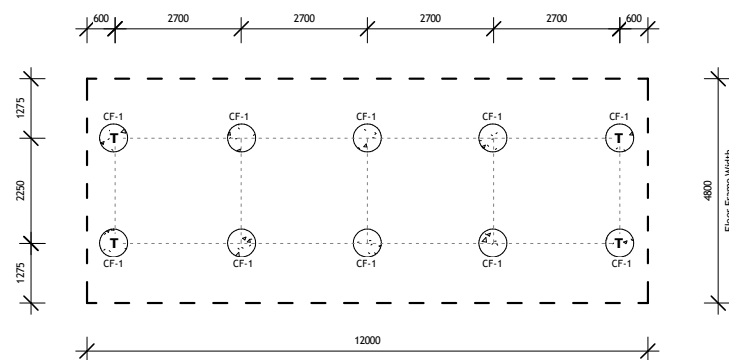
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SECTION & WALL/TRUSS FIXING			
Project number	WTU_ChivelL_24	4 OF 7	
Date	20/3/24		
Drawn by	BG		
Checked by	SP	Scale	As indicated



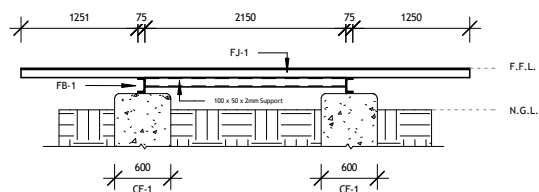
Floor Frame Detail

1 : 100



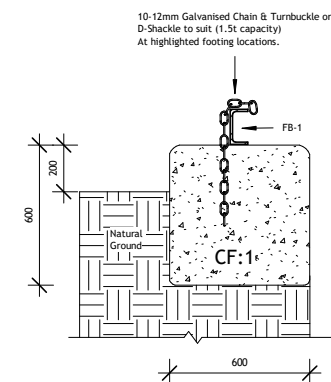
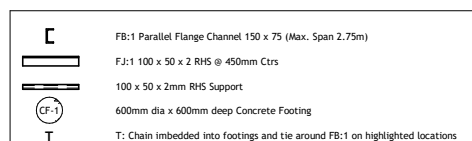
Footing Setout

1 : 100



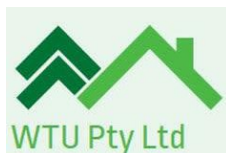
Floor Frame Section

1 : 50



Footing Detail

1 : 20

WRITTEN DIMENSIONS TO TAKE
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Warmur VIC 3483

STRUCTURAL FLOOR & FOOTINGS

Project number	WTU_ChivelL_24	5 OF 7
Date	20/3/24	
Drawn by	BG	
Checked by	SP	Scale
		As indicated

GENERAL NOTES

- 1 DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY.
- 2 THE PROJECT MANAGER & SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, A.S CODES (CURRENT EDITIONS) BUILDING REGULATIONS, THE ASHFORD CONSTRUCTION MANUAL, LOCAL BY-LAWS AND TOWN PLANNING REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.
- 3 ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:
 AS 1288 - 2021 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
 AS 1562.1 - 2018 DESIGN AND INSTALLATION SHEET ROOF AND WALL CLADDING
 AS 1684 - 2006 NATIONAL TIMBER FRAMING CODE
 AS 1860.1 - 2002 INSTALLATION OF PARTICLEBOARD FLOORING
 AS 2049 - 2002 ROOF TILES
 AS 2050 - 2018 FIXING OF ROOF TILES
 AS 2870 - 2011 RESIDENTIAL SLABS AND FOOTINGS
 AS 2904 - 1995 DAMP-PROOF COURSES AND FLASHINGS
 AS 3600 - 2018 CONCRETE STRUCTURES
 AS 3660.1 - 2000 CODE OF PRACTICE FOR PHYSICAL BARRIERS USED IN THE PROTECTION OF BUILDINGS AGAINST SUBTERRANEAN TERMITES
 AS 3700 - 2018 MASONRY IN BUILDINGS
 AS 3740 - 2021 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
 AS 3786 - 2014 SMOKE ALARMS
 AS 3959 - 2018 CONSTRUCTION IN BUSHFIRE PRONE AREAS
 AS 4055 - 2021 WIND LOADINGS FOR HOUSING
 AS 4100 - 2020 STEEL STRUCTURES
- 4 THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS, DRAWINGS AND TRUSS LAYOUTS.
- 5 SOIL CLASSIFICATION -
 SOILS REPORT OR BUILDER TO VERIFY CLASSIFICATION, THESE PLANS TO BE READ IN CONJUNCTION WITH THE SOIL REPORT. FOOTINGS TO BE FOUNDATION AT THE MINIMUM DEPTHS INDICATED ON SOIL REPORT.
- 6 DWELLING IS TO BE PROTECTED AGAINST SUBTERRANEAN TERMITES, THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH AS 3660.1 - 2000.
- 7 SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:
 i) ALL ROOMS - WITHIN 500mm VERTICAL OF FLOOR.
 ii) BATHROOMS - WITHIN 1500mm VERTICAL OF THE BATH BASE.
 iii) LAUNDRY - WITHIN 1200mm VERTICAL FROM FLOOR AND/OR WITHIN 300mm HORIZONTAL FROM DOORS.
 iv) DOORWAY - WITHIN 300mm HORIZONTAL FROM ALL DOORS.
 SHOWER SCREENS SHALL BE GRADE A SAFETY GLASS.
- 8 WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZES WILL VARY ACCORDING TO MANUFACTURER.
 WINDOWS TO BE FLASHED ALL AROUND.
- 9 STORMWATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.
- 10 SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY'S REQUIREMENTS.
- 11 FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES.
- 12 FOR BUILDINGS IN CLOSE PROXIMITY TO THE SEA ENSURE THAT ALL STEEL WORK, BRICK CAVITY TIES AND STEEL LINTELS ETC. THAT ARE EMBEDDED OR FIXED INTO MASONRY BE PROTECTED IN ACCORDANCE WITH AS 1650 OR AS 3700 - 2011 TABLE 2.2., HOT DIPPED GALV., S/LESS STEEL OR CADMIUM COATED.
- 13 ALL WET AREAS TO COMPLY WITH NCC 2022 H4D2 & AS 3740.1 2021
 WALL FINISHES SHALL BE IMPERVIOUS TO A MIN HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL TO SHOWER ENCLOSURES AND 1500mm ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75mm OF THE WALL
- 14 PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 600mm CRTS IN EACH DIRECTION AND WITHIN 300mm OF ARTICULATED JOINTS.
- 15 SUB-FLOOR VENTS TO PROVIDE A RATE OF 7500mm SQ. CLEAR VENTILATION PER 1000mm RUN OF EXTERNAL MASONRY WALL AND 2200mm SQ. CLEAR VENTILATION PER 100mm RUN OF INTERNAL DWARF WALLS.
- 16 PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150mm FOR FLOOR WITH STRIP FLOORING OR 200mm FOR FLOORS WITH PARTICLEBOARD FLOORING.
- 17 FOR NEW DWELLINGS OR ADDITIONS TO DWELLINGS PROVIDE THERMAL INSULATION AS FOLLOWS:-
 REFER B.C.A. VICTORIAN EDITIONS APPENDIX VIC 1. RFL TO COMPLY WITH A.S/NZS 4200.2 AND HAVE A FLAMMABILITY INDEX OF NOT LESS THAN 5.
- 18 STAIR REQUIREMENTS:-
 RISERS - 190mm MAX, 115mm MIN
 GOING - 355mm MAX, 240mm MIN (PRIVATE STAIRS)
 -250mm MIN FOR PUBLIC STAIRS.
 RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT, ENSURE MAXIMUM GAP BETWEEN RISERS NOT EXCEED 125mm OR USE CLOSED RISERS.
 PROVIDE BALUSTRADE 100mm MIN HEIGHT TO BALCONIES, LANDINGS AND DECKS WHICH ARE 100mm OR MORE ABOVE THE GROUND LEVEL.
 PROVIDE HANDRAIL 865mm MIN HEIGHT ABOVE STAIR NOSINGS, MAX OPENINGS BETWEEN BALUSTERS NOT EXCEED 125mm. MIN HEAD CLEARANCE UNDER STAIR IS 2000mm.
- 19 THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW AND EXISTING STRUCTURES DURING ALL WORKS.
- 20 SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS 3786 - 2014. THE SMOKE ALARM SHALL BE HARD WIRED WITH BATTERY BACKUP.
- 21 WIND GUST SPEED FOR THE ALLOTMENT IS AS PER ENGINEERS SOIL REPORT.
- 22 ARTICULATION JOINTS TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS AND DRAWINGS.
- 23 WALL FRAMING & TRUSS SPECS & COMPS TO BE ISSUED AT FRAME INSPECTION.
- 24 PROVIDE REMOVABLE HINGES TO WC DOOR AS PER NCC 2022 H4D5
- 25 ENSURE GAS COOKTOP BURNERS ARE KEPT 200MM CLEAR OF GLASS SPLASHBACK, ALTERNATIVELY, A NON-COMBUSTIBLE MATERIAL WILL HAVE TO BE PLACED BEHIND GLASS SPLASHBACK.
- 26 THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES. NO RESPONSIBILITY IS ACCEPTED FOR THEIR USE.
- 27 ON THE 11TH MARCH 2009 ALL VICTORIA WAS CATEGORISED AS A BUSH FIRE PRONE AREA, INCLUDING AN AMENDMENT TO THE BUILDING REGULATIONS AND THE INTRODUCTION OF A REVISED AUSTRALIAN STANDARD AS 3959 - 2018. AS A RESULT ANY PROPOSED DWELLINGS MUST HAVE A BUSH FIRE ASSESSMENT CONDUCTED PRIOR TO A BUILDING PERMIT BEING ISSUED. ADDITIONAL CONSTRUCTION REQUIREMENTS, IF ANY WILL BE DETERMINED ON THE RECEIPT OF A BUSH FIRE ATTACK LEVEL REPORT (BAL), AND WILL BE CHARGED BY WAY OF VARIATION.
- 28 BATHROOM TO VENTILATE FROM WINDOW AND HAVE AN EXHAUST SYSTEM WITH A MINIMUM FLOW RATE OF 25L/s. AS PER THE NCC 2022 H4D9.
- 29 SMOKE ALARMS
 CLASS 1A BUILDINGS - IN A CLASS 1A BUILDING, SMOKE ALARMS MUST BE LOCATED IN -
 (a) ANY STOREY CONTAINING BEDROOMS, EVERY CORRIDOR OR HALLWAY ASSOCIATED WITH A BEDROOM, OR IF THERE IS NO CORRIDOR OR HALLWAY, IN AN AREA BETWEEN THE BEDROOMS AND THE REMAINDER OF THE BUILDING; AND
 (b) EACH OTHER STOREY NOT CONTAINING BEDROOMS.

 CLASS 1B BUILDINGS - IN A CLASS 1B BUILDING, SMOKE ALARMS MUST BE LOCATED IN -
 (a) EVERY BEDROOM; AND
 (b) EVERY CORRIDOR OR HALLWAY ASSOCIATED WITH A BEDROOM, OR IF THERE IS NO CORRIDOR OR HALLWAY, IN AN AREA BETWEEN THE BEDROOMS AND THE REMAINDER OF THE BUILDING; AND
 (c) EACH OTHER STOREY
- 30 LIGHTING & POWER 12 V DC RUN BY BATTERIES & SOLAR TO BE INSTALLED BY LICENCED ELECTRICIAN.
- 31 RAIN WATER TANK NEEDS TO BE A MINIMUM 2000L & CONNECTED TO SANITARY FACILITIES.



WRITTEN DIMENSIONS TO TAKE
PRECEDENCE OVER SCALE.

DO NOT SCALE DRAWING.

Registered Building
Practitioner
DB-U 70685

Wallace
Transportable Units

0499 110 807
PO Box 7
Lascelles VIC 3487



3755 Birchip/Warracknabeal Rd
Warmur VIC 3483

NOTES

Project number	WTU_ChivelL_24	6 OF 7
Date	20/3/24	
Drawn by	BG	
Checked by	SP	
		Scale

BAL 12.5 NOTES

SUBFLOOR SUPPORTS

- ENCLOSED SUB FLOORS SHALL BE PROTECTED BY BASE BOARDS WITH VENTILATION IN ACCORDANCE WITH BAL REQUIREMENTS

FLOORS

- ENCLOSED SUB FLOORS SHALL BE PROTECTED WITH A MATERIAL THAT COMPLIES WITH EXTERNAL WALLS BELOW
- FLOORING LESS THAN 300mm FROM A GLAZED ELEMENT SHALL BE:
 - NON-COMBUSTIBLE; AND/OR
 - BUSHFIRE RESISTING TIMBER (SEE AS 3959-2018 APPENDIX F);
- AND/OR
- TIMBER (OTHER THAN BUSHFIRE RESISTING TIMBER), PARTICLEBOARD OR PLYWOOD FLOORING WHERE THE UNDERSIDE IS LINED WITH SARKING-TYPE MATERIAL OR MINERAL WOOL INSULATION.

EXTERNAL WALLS

- EXPOSED EXTERNAL WALL CONSTRUCTION WITHIN 400MM FROM HORIZONTAL SURFACE (AS PER AS 3959-2018, CLAUSE 5.4) SHALL BE:
 - NON-COMBUSTIBLE MATERIAL; OR
 - TIMBER LOGS OF A SPECIES WITH A DENSITY OF 680 KG/M 3 OR GREATER THAN A 12% MOISTURE CONTENT; OF A MINIMUM OVERALL THICKNESS OF 90MM AND A MINIMUM THICKNESS OF 70MM & GUAGE PLANED; OR
 - CLADDING THAT IS FIXED EXTERNALLY TO A TIMBER OR STEEL FRAMED WALL THAT IS SARKED ON THE OUTSIDE OF THE FRAME AND IS:
 - FIBRE-CEMENT (MIN 6MM THICKNESS); OR
 - STEEL SHEETING; OR
 - BUSHFIRE RESISTING TIMBER (SEE AS 3959-2018 APPENDIX F); OR
 - A COMBINATION OF ANY ITEM ABOVE
 - ALL JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTT-JOINTED TO PREVENT GAPS GREATER THAN 3mm. (AS PER AS 3959-2018, CLAUSE 5.4.2)
 - VENTS AND WEEPHOLES IN EXTERNAL WALLS SHALL BE SCREENED WITH MESH WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM, EXCEPT WHERE THEY ARE LESS THAN 3mm OR ARE LOCATED IN AN EXTERNAL WALL OF A SUBFLOOR SPACE. (VENTS / VENTILATION TO BE PROVIDED WITH EMBER GUARD) (AS PER AS 3959-2018, CLAUSE 5.4.3)

EXTERNAL GLAZING AND DOORS

- WINDOWS TO BE PROTECTED AS FOLLOWS:
 - BE COMPLETELY PROTECTED BY A COMPLIANT BUSHFIRE SHUTTER; OR
 - FOR WINDOW ASSEMBLIES THEY SHALL BE MADE FROM:
 - BUSHFIRE RESISTING TIMBER AS PER AS 3959-2018 APPENDIX F
 - METAL
 - METAL RE-INFORCED UPVC
 - ALL EXTERNAL HARDWARE THAT SUPPORTS THE SASH AND ITS FUNCTIONS OF OPENING AND CLOSING SHALL BE METAL.
 - ALL GLAZING SHALL HAVE 5MM GRADE A TOUGHENED GLAZING.
 - ALL GLAZING LESS THAN 400MM ABOVE GROUND, DECKS, CARPORT ROOFS, AWNINGS OR THE LIKE SHALL BE COMPLETELY PROTECTED EXTERNALLY BY SCREENS WITH A MESH WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM. (AS PER AS 3959-2018, CLAUSES 5.5.1A, AND THE FRAME SUPPORTING THE MESH SHALL BE MADE FROM:

- METAL; OR
- BUSHFIRE RESISTING TIMBER AS PER AS 3959-2018 APPENDIX F
- WHERE 5MM TOUGHENED GLASS IS USED THE OPENABLE PORTIONS OF THE WINDOW TO BE SCREENED INTERNALLY OR EXTERNALLY AS PER AS 3959-2018, CLAUSES 5.5.2.C & 5.5.1.A
- WHERE FITTED ALL WINDOW OR DOOR ASSEMBLIES SHALL BE COMPLETELY PROTECTED EXTERNALLY BY SCREENS WITH A MESH WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM. (AS PER AS 3959-2018, CLAUSES 7.5.1A) AND THE FRAME SUPPORTING THE MESH SHALL BE MADE FROM:
 - METAL; OR
 - BUSHFIRE RESISTING TIMBER AS PER AS 3959-2018 APPENDIX F
- OPENABLE PORTIONS OF WINDOWS SHALL BE COMPLETELY PROTECTED EXTERNALLY OR INTERNALLY BY SCREENS WITH A MESH WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM. (AS PER AS 3959-2018, CLAUSES 5.5.1A) AND THE FRAME SUPPORTING THE MESH SHALL BE MADE FROM:
 - METAL; OR
 - BUSHFIRE RESISTING TIMBER AS PER AS 3959-2018 APPENDIX F
- EXTERNAL DOORS TO BE SELECTED AND PROTECTED AS PER AS 3959-2018, CLAUSE 5.5.3
- ALL EXTERNAL HARDWARE THAT SUPPORTS THE DOOR AND ITS FUNCTIONS OF OPENING AND CLOSING SHALL BE METAL.
- WHERE THE DOOR INCORPORATES GLAZING, THE GLAZING SHALL BE TOUGHENED SAFETY GLASS WITH A MINIMUM 6MM THICKNESS.
- ALL GLAZING IN THE DOORS IS LESS THAN 400MM ABOVE GROUND, DECKS, CARPORT ROOFS,AWNINGS OR THE LIKE SHALL BE COMPLETELY PROTECTED EXTERNALLY BY SCREENS WITH A MESH WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM. (AS PER AS 3959-2018, CLAUSES 7.5.1A, AND THE FRAME SUPPORTING THE MESH SHALL BE MADE FROM :
 - METAL; OR
 - BUSHFIRE RESISTING TIMBER AS PER AS 3959-2018 APPENDIX F
- EXTERNAL SIDE HUNG DOORS TO BE FITTED WITH SEALS TO THE BASE
- EXTERNAL SLIDING DOORS TO BE TIGHT FITTING TO THE FRAME
- VEHICLE ACCESS DOORS WITHIN 400MM FROM HORIZONTAL SURFACE SHALL BE MADE FROM:
 - NON-COMBUSTABLE MATERIAL; OR
 - BUSHFIRE RESISTING TIMBER AS PER AS 3959-2018 APPENDIX F
 - FIBRO-CEMENT SHEET WITH A MINIMUM THICKNESS OF 6MM
 - PANEL LIFT, TILT DOORS (BOTTOM 400mm NON COMBUSTABLE) OR SIDE-HUNG DOORS SHALL BE FITTED WITH SUITABLE WEATHER STRIPS, DRAUGHT EXCLUDERS, DRAUGHT SEALS OR GUIDE TRACKS, AS APPROPRIATE TO THE DOOR TYPE, WITH MAXIMUM GAP NO GREATER THAN 3mm. (AS PER AS 3959-2018, CLAUSE 5.5.5.B)
 - ROLLER DOORS TO HAVE GUIDE TRACKS WITH MAXIMUM GAP NO GREATER THAN 3MM AND FITTED WITH NYLON BRUSH SEALS OR EQUIVALENT.
 - VEHICLE ACCESS DOORS SHALL NOT INCLUDE VENTILATION SLOTS

ROOFS GUTTERS & DOWNPIPES

- ROOFS SHALL BE FULLY SARKED. THE SARKING SHALL HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 5, WHEN TESTED TO AS 1530.2: BE LOCATED DIRECTLY BELOW THE ROOF BATTENS:
- COVER THE ENTIRE ROOF AREA INCLUDING THE RIDGE; AND BE INSTALLED SO THAT THERE ARE NO GAPS THAT WOULD ALLOW THE ENTRY OF EMBERS WHERE THE SARKING MEETS FASCIAS,GUTTERS, VALLEYS & THE LIKE. (AS PER AS 3959-2018, CLAUSE 5.6.2)

- ROOF PENETRATIONS, INCLUDING ROOF LIGHTS, ROOF VENTILATORS, ROOF-MOUNTED EVAPORATIVE COOLING UNITS, AERIALS, VENT PIPES AND SUPPORTS FOR SOLAR COLLECTORS SHALL BE ADEQUATELY SEALED AT THE ROOF TO PREVENT GAPS GREATER THAN 3mm. THE MATERIAL USED TO SEAL THE PENETRATION SHALL BE NONCOMBUSTABLE. (AS PER AS 3959-2018, CLAUSE 5.6.5.A)
- EVAPORATIVE COOLING UNITS SHALL BE FITTED WITH BUTTERFLY CLOSERS AT OR NEAR THE CEILING LEVEL, OR THE UNIT SHALL BE FITTED WITH NON-COMBUSTIBLE COVERS WITH A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION- RESISTANT STEEL, BRONZE OR ALUMINIUM. (AS PER AS 3959-2018, CLAUSE 6.6.5.F)
- EAVE PENETRATIONS SHALL BE PROTECTED THE SAME AS FOR ROOF PENETRATIONS, AS SPECIFIED IN CLAUSE 6.6.5. EAVES VENTILATION OPENINGS GREATER THEN 3mm SHALL BE FITTED WITH EMBER GUARDS MADE OF NON-COMBUSTIBLE MATERIAL OR A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM. JOINTS IN EAVE LININGS, FASCIAS AND GABLES MAY BE SEALED WITH PLASTIC JOINING STRIPS OR TIMBER STORM MOULDS. (AS PER AS 3959-2018, CLAUSE 5.6.6)
- FLASHINGS TO BE NON-COMBUSTIBLE
- THE ROOF/WALL JUNCTION SHALL BE SEALED, TO PREVENT OPENINGS GREATER THAN 3mm,EITHER BY THE USE OF FASCIA AND EAVES LININGS OR BY SEALING BETWEEN THE TOP OF THE WALL AND THE UNDERSIDE OF THE ROOF AND BETWEEN THE RAFTERS AT THE LINE OF THE WALL. (AS PER AS 3959-2018, CLAUSE 5.6.1.B)
- ALL BOX GUTTERS AND DOWNPIPES TO BE NON-COMBUSTIBLE

WATER AND GAS PIPES

- ABOVE-GROUND, EXPOSED WATER AND GAS SUPPLY PIPES SHALL BE METAL. (AS PER AS 3959-2018, CLAUSE 5.8)
- VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS
- DECKING, STAIR TREADS, AND THE TRAFFICABLE SURFACES OF RAMPS AND LANDINGS WITHIN 300MM OF A GLAZED ELEMENT SHALL BE (AS PER AS 3959-2018 5.7.2.4):
 - NON-COMBUSTIBLE; AND/OR
 - BUSHFIRE RESISTING TIMBER (SEE AS 3959-2018 APPENDIX F)
- A TIMBER SPECIES AS SPECIFIED IN PARAGRAPH E1, APPENDIX E IN AS 3959;

TERMITE PROTECTION

STEEL SUB FLOOR

TERMITE TREATED PARTICLE FLOORING

PINE FRAMES TO BE T2

BE INSTALLED IN ACCORDANCE WITH SECTION 5 OR AUSTRALIAN STANDARD AS 3660 1-2014

STUMP TO BE 90X90 GALVANISED METAL

CONCRETE PEIRS TO BE 75MM EXPOSED ABOVE GROUND

ALL STRUCTURAL ELEMENTS ARE TERMITE RESISTANT AND THERFORE A TERMITE SYSTEM IS NOT REQUIRED



WRITTEN DIMENSIONS TO TAKE
PRECEDENCE OVER SCALE.

DO NOT SCALE DRAWING.

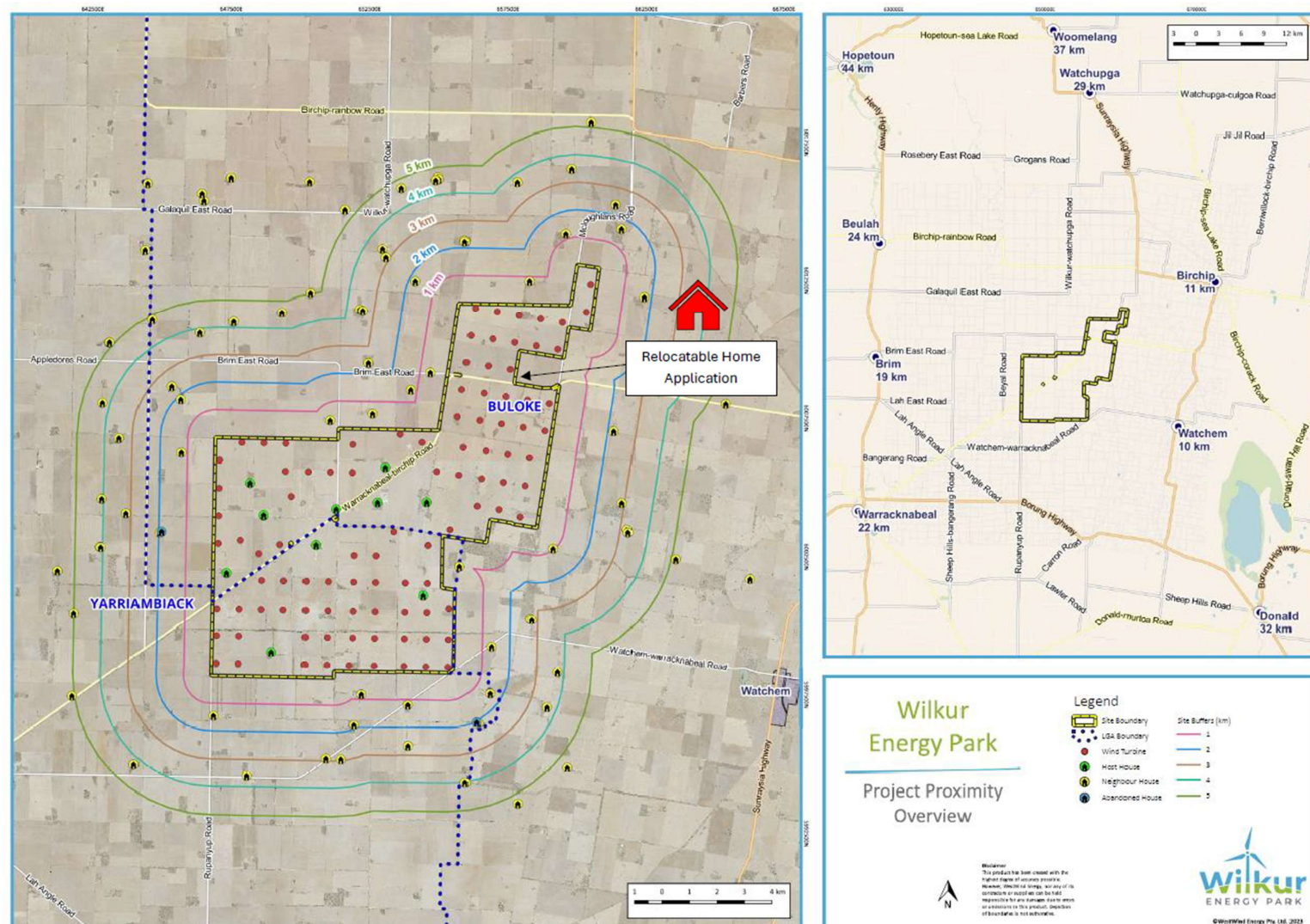
Registered Building
Practitioner
DB-U 70685

Wallace
Transportable Units

0499 110 807
PO Box 7
Lascelles VIC 3487

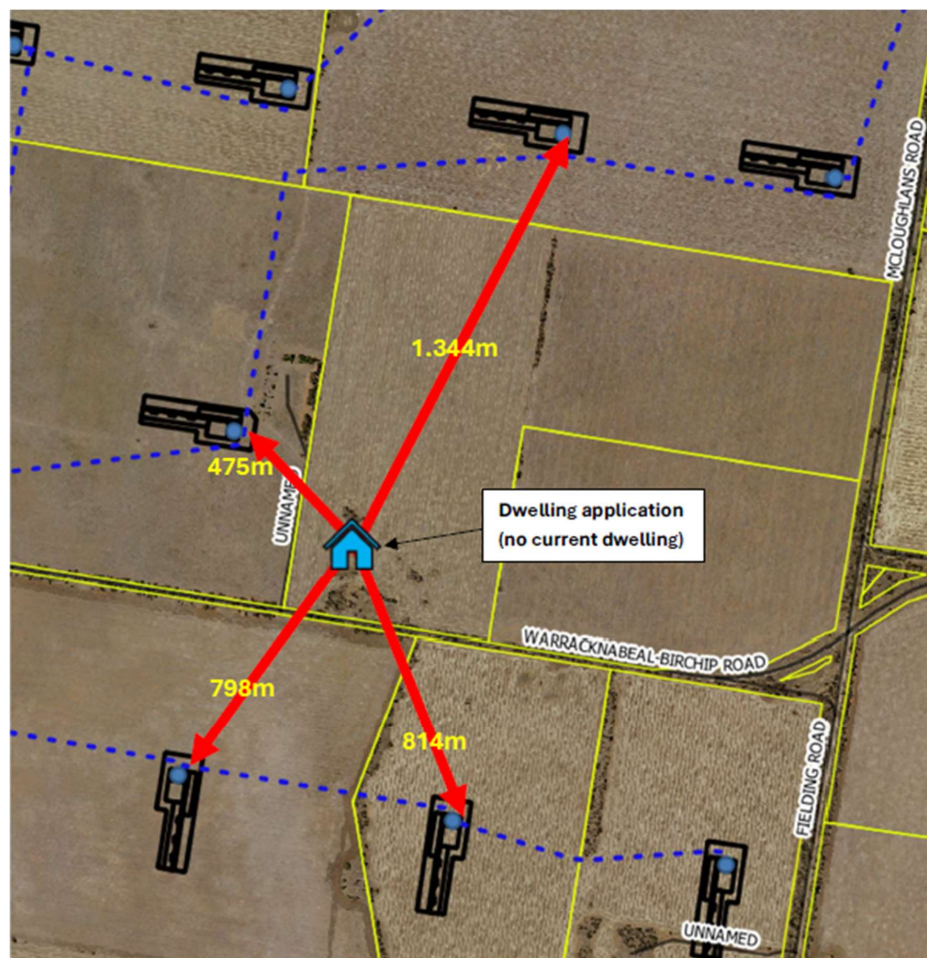
<div></div> <div>3755 Birchip/Warracknabeal Rd Warmur VIC 3483</div>	BAL 12.5		
	Project number	WTU_Chivell_24	7 OF 7
	Date	20/3/24	
	Drawn by	BG	
	Checked by	SP	
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LOCATION MAP – WILKUR ENERGY PARK AND PERMIT APPLICATION



Source: West Wind Energy

SKETCH PLAN – PROXIMITY TO TURBINES



8.2.2 PLANNING PERMIT APPLICATION PA24019 - TWO LOT SUBDIVISION (RURAL DWELLING EXCISION) AND THE CREATION OF AN EASEMENT - 332 GODDARD ROAD, TEDDYWADDY WEST

Author's Title: Senior Planning Officer

Department: Community Development

File No: LP/09/01

Relevance to Council Plan 2021 - 2025

Strategic Objective: Our Built and Natural Environment

PURPOSE

The purpose of this report is for Council to consider this planning permit application and as the Responsible Authority, resolve to Grant a Permit or issue a Notice of Refusal.

SUMMARY

A planning permit application has been received by Council on the 21st March 2024 for a two-lot subdivision of land (rural dwelling excision), and the creation of an easement. The address for the application is 332 Goddard Road, Teddywaddy West (CA 70 Parish of Teddywaddy).

The applicant proposes to carry out a two-lot subdivision to subdivide the existing dwelling from the farming and grazing land. Lot 1 will consist of 4.86 hectares in area and contain the dwelling and farm sheds, and native and exotic vegetation. Lot 2 will consist of 124.5 hectares and contain the farming and grazing land.

Lot 1 will retain the existing access from Goddard Road via the existing driveway.

Access to Lot 2 is via an existing gateway onto Goddard Road.

The applicant proposes to create an easement to protect the water supply piping from the GWM Water stock and domestic water supply to the proposed allotment.

The proposed lots will make use of existing infrastructure and utilities including electricity, roads and access. The application does not propose any new use or development.

The application has come to Council as the Responsible Authority for a decision as the proposed rural dwelling excision lot is in excess of two hectares to be considered as relevant in policy at Clause 14.01-1L-03 – Small lot subdivision.

RECOMMENDATION

That Council issue a Notice of Decision to Grant Planning Permit in relation to Planning Application No. PA24019 in respect of the land known and described as 332 Goddard Road, Teddywaddy West (CA 70 Parish of Teddywaddy), for the two lot subdivision (rural dwelling excision), and the creation of an easement in accordance with the endorsed plans, with the application dated 21 March 2024, subject to the following conditions:

Endorsed Plans

1. Prior to certification, an amended plan must be submitted to and approved by the responsible authority. When approved the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions. The plans must generally be in accordance with the plans submitted with the application but amended to show:
 - a 4 metre distance between any new allotment boundary and any existing native vegetation. (A planning permit and native vegetation offsets must be obtained for any consequential loss of native vegetation that is within the 4 metre setback to the new allotment boundary.)
2. The subdivision as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.

Subdivision

3. All existing and proposed easements and sites for existing and required utility services and roads must be set aside in favour of the relevant authority for which the easement or site is to be created on the plan of subdivision submitted for certification under the Subdivision Act 1988.
4. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, drainage, sewerage facilities and electricity services to each lot shown on the endorsed plan in accordance with the authority's requirements and relevant legislation at the time.
5. The plan of subdivision submitted for certification under the Subdivision Act 1988 must be referred to the relevant authority in accordance with Section 8 of that Act.

Access

6. Access to and exit from the land must only be via existing crossings.

Referral Authority Conditions - GWMWater

7. The owner/applicant must enter into a Supply by Agreement with GWMWater for the supply of water to Lot 1.

Referral Authority Conditions - Powercor

8. The applicant shall ensure that existing and proposed buildings and electrical installations on the subject land are compliant with the Victorian Service and Installation Rules (VSIR).
Notes: Where electrical works are required to achieve VSIR compliance, a registered electrical contractor must be engaged to undertake such works
9. The applicant shall establish easements on the subdivision, for all existing Distributor electric lines where easements have not been otherwise provided on the land and for any new powerlines to service the lots or adjust the positioning existing easements.
Notes:
 - Existing easements may need to be amended to meet the Distributor's requirements
 - Easements required by the Distributor shall be specified on the subdivision and show the Purpose, Origin and the In Favour of party as follows:

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour Of
	Power Line		Section 88 - Electricity Industry Act 2000	Powercor Australia Ltd

Commencement

10. This permit will operate from the issued date of this permit.

Permit Expiry

This permit as it relates to development (subdivision) will expire if one of the following circumstances applies:

- a. The plan of subdivision has not been certified under the *Subdivision Act 1988* within 2 years of the issued date of this permit.
- b. A statement of compliance is not issued within 5 years of the date of certification.

In accordance with Section 69 of the Planning and Environment Act 1987, an application may be submitted to the responsible authority for an extension of the periods referred to in this condition, if the request is made in writing before the permit expires, or within six months afterwards.

Attachments: 1 [PA24019 Plan for proposed subdivision](#)

DISCUSSION**Proposal**

The applicant proposes to carry out a two-lot subdivision of land to subdivide the existing dwelling from the farming and grazing land. Lot 1 will consist of 4.86 hectares in area and contain the dwelling and farm sheds, and native and exotic vegetation. Lot 2 will consist of 124.5 hectares and contain the farming and grazing land.

Lot 1 will retain the existing access from Goddard Road via the existing driveway.

Access to Lot 2 is via an existing gateway onto Goddard Road.

The applicant proposes to create an easement to protect the water supply piping from the GWM Water stock and domestic water supply to the proposed allotment.

The proposed lots will make use of existing infrastructure and utilities including electricity, roads and access. The application does not propose any new use or development.

Subject Site and Locality

An inspection of the site and the surrounding area has been undertaken.

The site has a total area of 129.76 hectares and currently contains:

- Dwelling and farm sheds
- Scattered native trees
- Farming and grazing land

The main site/locality characteristics are:

- The surrounding area consists of farming and grazing land.
- There is a dwelling in separate ownership approximately 160 metres to the south and over Goddard Road (distance measured from nearest points of each of the proposed allotment and the existing dwelling allotment. The dwellings are approximately 580 metres apart).
- The subject land is 11 kilometres south of the township of Wycheproof and 18 kilometres northwest of Charlton.

Assessment

The land is zoned Farming Zone. The purpose of the farming zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide for the use of land for agriculture.
- To encourage the retention of productive agricultural land.
- To ensure that non-agricultural uses, including dwellings, do not adversely affect the use of land for agriculture.
- To encourage the retention of employment and population to support rural communities.
- To encourage use and development of land based on comprehensive and sustainable land management practices and infrastructure provision.
- To provide for the use and development of land for the specific purposes identified in a schedule to this zone.

At Clause 35.07-3 a planning permit is required to subdivide land in the Farming Zone. Each lot must be at least 100 ha. A permit may be granted to create smaller lots if the subdivision is to create a lot for an existing dwelling. The subdivision must be a two-lot subdivision.

No planning overlays affect the land.

The land is not within an area of Aboriginal Cultural Heritage Sensitivity

Decision Guidelines - Farming Zone	Comments
The Municipal Planning Strategy and the Planning Policy Framework.	<i>These have been considered, please refer to details below.</i>
The capability of the land to accommodate the proposed use or development, including the disposal of effluent.	<i>No change of land use is proposed. The allotments are capable of accommodating the existing land uses. The subdivision will reflect the existing land uses.</i>
How the use or development relates to sustainable land management.	<i>The proposed subdivision will have no negative impact on sustainable land management as the subdivision reflects existing land management. The existing land management practices have been in place for an extended period and are</i>

	<i>considered sustainable.</i>
Whether the site is suitable for the use or development and whether the proposal is compatible with adjoining and nearby land uses.	<i>The subdivision will not change any existing land use. There is potential for the allotment containing the dwelling and the allotment containing the farmland to change into separate ownership at some future point in time. it is considered that the proposed subdivision provides appropriate buffer distance so that the dwelling is not adversely affected by agricultural operations and that agricultural operations are not affected by the dwelling.</i>
How the use and development makes use of existing infrastructure and services.	<i>The existing dwelling utilises existing infrastructure and has access to a sealed road for access.</i>
Whether the use or development will support and enhance agricultural production.	<i>There will be no change to agricultural production.</i>
Whether the use or development will adversely affect soil quality or permanently remove land from agricultural production.	<i>No land use change is proposed that will adversely affect soil quality or permanently remove land from agricultural production.</i>
The potential for the use or development to limit the operation and expansion of adjoining and nearby agricultural uses.	<i>No land use change is proposed that will limit the operation and expansion of adjoining and nearby agricultural uses.</i>
The potential for the proposal to lead to a concentration or proliferation of dwellings in the area and the impact of this on the use of the land for agriculture.	<i>The proposed two lot subdivision will not lead to further concentration or proliferation of dwellings.</i>
The impact of the use or development on the flora and fauna on the site and its surrounds.	<i>The subdivision will not affect negatively affect the flora and fauna, no physical changes to the environment are proposed</i>
The location of on-site effluent disposal areas to minimise the impact of nutrient loads on waterways and native vegetation.	<i>The dwelling has an existing septic system.</i>
The need to locate buildings in one area to avoid any adverse impacts on surrounding agricultural uses and to minimise the loss of productive agricultural land.	<i>The proposed allotment containing the dwelling is adjacent to Goddard Road, minimising interference with agricultural land.</i>

Municipal Planning Strategy (MPS)

The following Municipal Planning Strategies have been considered as part of this application:

02 MUNICIPAL PLANNING STRATEGY
<p>02.03 STRATEGIC DIRECTIONS</p> <p>02.03-1 Settlement and housing</p> <p>Council's strategic directions for settlement and housing include:</p> <ul style="list-style-type: none"> • Responding and adapting to population decline. • Directing subdivision development to locations on the established road network. <p>02.03-2 Environmental and landscape values</p> <p>Council's strategic directions for environmental and landscape values include:</p> <ul style="list-style-type: none"> • Protecting biodiversity, native vegetation, habitat and natural landscape values. <p>02.03-3 Environmental Risks and amenity</p> <p>Council's strategic directions for environmental risks and amenity include:</p> <ul style="list-style-type: none"> • Minimising environmental risk including erosion, salinity, bushfire and floodplain management. <p>02.03-4 Natural resource management</p> <p>Council's strategic directions for natural resource management include:</p> <ul style="list-style-type: none"> • Sustainably managing natural resources and agricultural land. • Protecting valuable agricultural land from inappropriate development.
<i>Comment:</i>
<i>The proposed subdivision is consistent with Municipal Planning strategy. The proposed subdivision reflects existing land uses. The dwelling is removed from the farmland allowing an agricultural operator to farm the land without maintaining a separate land use. The subdivision provides the opportunity to utilise the existing dwelling separate from managing agricultural land. The farming land will not be fragmented and is maintained in a large agricultural allotment.</i>

Planning Policy Framework (PPF)

The following Planning Policy Framework have been considered as part of this application:

13 ENVIRONMENTAL RISKS AND AMENITY
<p>13.02 BUSHFIRE</p> <p>13.02-1S Bushfire Planning</p> <p>Objective</p> <p>To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.</p>
<i>Comments</i>
<i>No new land uses are being introduced that will alter or increase the bushfire risk.</i>
<p>13.07 AMENITY, HUMAN HEALTH AND SAFETY</p> <p>13.07-1L-01 Amenity Protection – General</p> <p>Objective</p> <p>To encourage use and development without compromising residential amenity or agricultural land use.</p> <p>Strategies include: Discouraging land use conflicts between agricultural uses and sensitive uses.</p>

Comments:

There is no proposed change to existing land uses. The dwelling and farm land could potentially transfer to separate ownership; it is considered there are appropriate buffer distances to avoid compromising the dwelling's residential amenity or agricultural land use.

14 NATURAL RESOURCE MANAGEMENT**14.01 AGRICULTURE****14.01-1S, 14.01-1L-01 Protection of agricultural land****Objective**

To protect the state's agricultural base by preserving productive farmland.

Strategies include:

When considering a proposal to subdivide agricultural land, consider the compatibility between the proposed or likely development and the existing use of the surrounding land.

14.01-1L-03 Small lot subdivision

This policy applies to applications for subdivision in the Farming Zone of less than 100 hectares where: Lots are created under the excisions provisions of the Farming Zone.

Strategies include:

- Discourage the excision of dwellings that have the potential to restrict agricultural production on adjacent land.
- Maintain an adequate distance within the excised lot around the dwelling to reasonably limit any likely impacts of adjacent agricultural activity.
- Discourage the excision of more than one house lot from a rural property.

Policy guidelines

Consider as relevant:

- Rural dwelling excisions to have a maximum size of 2 hectares.
- If dwelling is in a habitable condition and able to comply with the Building Code of Australia.
- The planting of vegetation within the excised lot to reduce any potential impacts.

Comments:

No productive agricultural land will be lost as a result of the proposed subdivision. The subdivision incorporates a buffer distance to the agricultural land so as to maintain compatibility with the agricultural use of the surrounding land. The proposed subdivision is consistent with Buloke Planning scheme policy – Small lot subdivision.

Relevant Particular Provisions**Clause 52.02 Easements, restrictions and reserves**

A planning permit is required before a person proceeds to create, vary or remove an easement.

An easement is proposed to protect the water supply pipe that has been installed from Pinks Road at the north of proposed lot 2 running south- southwest to connect to the proposed Lot 1, containing the dwelling.

It is considered the easement will not significantly adversely affect agricultural operations. Agricultural operations have been successfully conducted over this water supply pipe for a number of years. The material used in water supply pipes has an extended useful life and access to the easement to carry out repairs and/or replacement would be infrequent.

The decision guidelines of Clause 65

Before deciding on an application or approval of a plan, the responsible authority must consider, as appropriate:

Decision Guidelines	Comments
Any significant effects the environment, including the contamination of land, may have on the use or development.	<i>The subject land is not likely to be contaminated and is not highlighted on the EPA Register.</i>
The Municipal Planning Strategy and the Planning Policy Framework.	<i>These have been considered in more detail above.</i>
The purpose of the zone, overlay or other provision.	<i>The proposed subdivision is not inconsistent with the purpose of the zone. The proposal is consistent with small lot subdivision policy and complies with the requirements of Clause 52.02</i>
Any matter required to be considered in the zone, overlay or other provision.	<i>These have been addressed earlier in the Report.</i>
The orderly planning of the area.	<i>The proposal is considered to represent orderly planning as the subdivision reflects the existing land uses.</i>
The effect on the environment, human health and amenity of the area.	<i>The proposed subdivision is not likely to have an impact on the environment, human health or amenity of the area.</i>
The proximity of the land to any public land.	<i>There is no public land in the immediate locality. There is an uncategorised public land reserve 3km to the east. The proposal will have no impact on public land</i>
Factors likely to cause or contribute to land degradation, salinity or reduce water quality.	<i>The proposed subdivision will not have an impact on land degradation or reduce water quality. No changes to land use are proposed.</i>
Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.	<i>The proposed subdivision will not have an impact to existing stormwater discharge.</i>
The extent and character of native vegetation and the likelihood of its destruction.	<i>A new subdivision must take into account existing native vegetation that occurs within 4 metres of a shared property boundary to allow for any future construction of boundary fences. A planning permit condition will be included on the permit to locate the proposed allotment greater than 4</i>

	<i>metres from existing native vegetation or offsets must be provided.</i>
Whether native vegetation is to be or can be protected, planted or allowed to regenerate.	<i>No native vegetation is proposed to be removed.</i>
The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.	<i>The proposed subdivision will not increase any hazard. No new land uses are proposed.</i>
The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.	<i>Both proposed allotments have adequate area for loading, unloading and the parking of vehicles.</i>
The impact the use or development will have on the current and future development and operation of the transport system.	<i>The proposed subdivision will have no impact on the operation of the transport system. No land use changes are proposed.</i>

Before deciding on an application to subdivide land, the responsible authority must consider, as appropriate:

Decision Guidelines	Comments
The suitability of the land for subdivision.	<i>The subject land is suitable for this subdivision.</i>
The existing use and possible future development of the land and nearby land.	<i>The proposed subdivision of land will not have an impact on existing land uses. The proposal allows for the continued agricultural production of the balance of land.</i>
The availability of subdivided land in the locality, and the need for the creation of further lots.	<i>The land is zoned FZ and there is no requirement for availability of land, and no need to create new lots. The subdivision reflects current land use.</i>
The effect of development on the use or development of other land which has a common means of drainage.	<i>Not applicable – there is no development as part of this proposal.</i>
The subdivision pattern having regard to the physical characteristics of the land including existing vegetation.	<i>The proposed subdivision of land takes into consideration the existing physical characteristics of the land. A vegetation buffer is included in the house lot.</i>
The density of the proposed development.	<i>Not applicable to this application.</i>
The area and dimensions of each lot in the subdivision.	<i>The area and dimensions of the proposed lots are suitable for the purposes of the land uses.</i>
The layout of roads having regard to their function and relationship to existing roads.	<i>The proposed subdivision will not have an impact on existing road conditions.</i>
The movement of pedestrians and vehicles throughout the subdivision and the ease of access to all lots.	<i>Not applicable to this application.</i>
The provision and location of reserves for public open space and other community facilities.	<i>Not applicable to this application.</i>
The staging of the subdivision.	<i>Not applicable to this application.</i>
The design and siting of buildings having regard to safety and the risk of spread of fire.	<i>Not applicable to this application.</i>

The provision of off-street parking.	<i>Not applicable to this application.</i>
The provision and location of common property.	<i>Not applicable to this application.</i>
The functions of any body corporate.	<i>Not applicable to this application.</i>
The availability and provision of utility services, including water, sewerage, drainage, electricity and gas.	<i>The land is connected to existing power and water services. The area is not sewered.</i>
If the land is not sewered and no provision has been made for the land to be sewered, the capacity of the land to treat and retain all sewage and sullage within the boundaries of each lot.	<i>The residential lot has an existing on-site wastewater system for management of effluent.</i>
Whether, in relation to subdivision plans, native vegetation can be protected through subdivision and siting of open space areas.	<i>The proposed allotment boundary will be located in excess of 4 metres from any native vegetation.</i>
The impact the development will have on the current and future development and operation of the transport system.	<i>Not applicable to this application.</i>

RELEVANT LAW

The application is being assessed in accordance with the *Planning and Environment Act 1987*.

RELATED COUNCIL DECISIONS

There is no previous planning permit history at the subject land.

OPTIONS

Council, as the Responsible Authority, could resolve to issue a Notice of Refusal to Grant a Permit

SUSTAINABILITY IMPLICATIONS

There are no significant sustainability implications.

COMMUNITY ENGAGEMENT

The application has been advertised pursuant to Section 52 of the *Planning and Environment Act 1987*, by:

- Sending two notices to the owners and occupiers of adjoining land.
- Placing a Notice in the locally circulating Newspapers

The notification has been carried out correctly.

Council has received no objections to date.

INNOVATION AND CONTINUOUS IMPROVEMENT

Not applicable.

COLLABORATION

External Referrals/Notices Required by the Planning Scheme:

Referrals/Notice	Advice/Response/Conditions
Section 55 Referrals	n/a

Section 52 notices	GWMWater – no objection subject to conditions Powercor Ltd – no objection subject to conditions
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Internal Council Referrals	Advice/Response/Conditions
Assets and Infrastructure	No objection
n/a	n/a

FINANCIAL VIABILITY

The subject matter of this report does not have significant budgetary implications or considerations.

REGIONAL, STATE AND NATIONAL PLANS AND POLICIES

Policy has been discussed in the discussion section of this report.

COUNCIL PLANS AND POLICIES

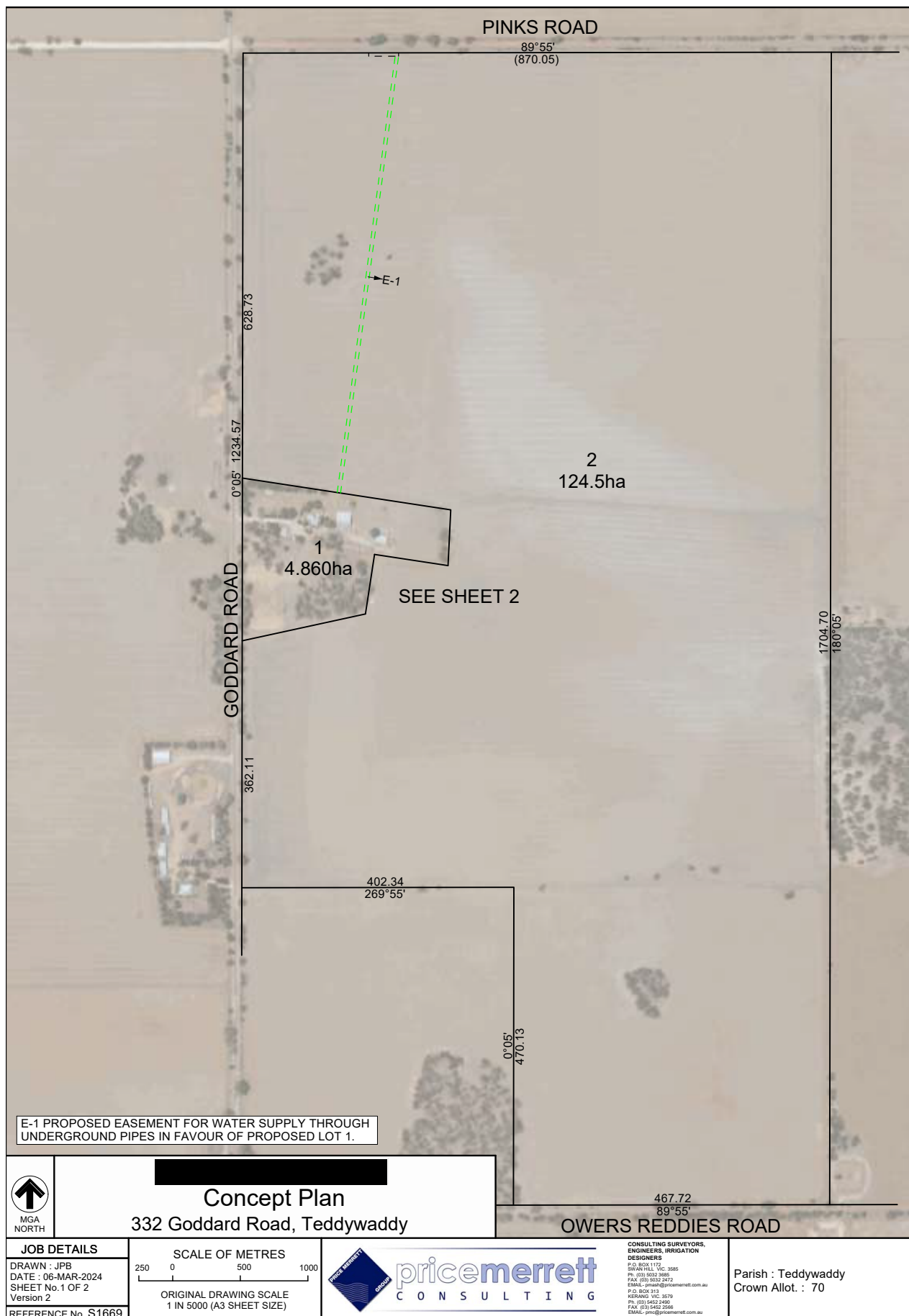
Not applicable.

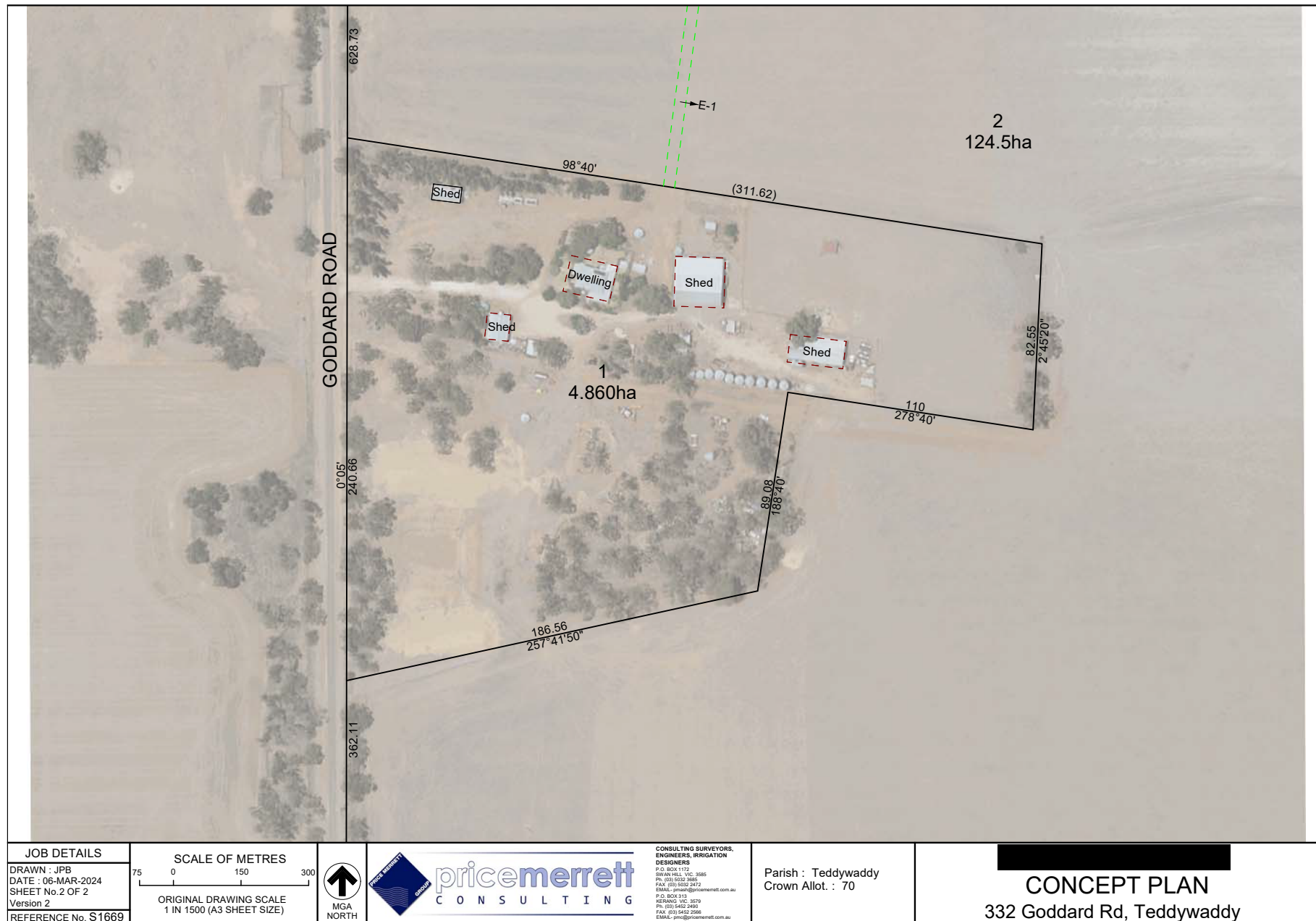
TRANSPARENCY OF COUNCIL DECISIONS

In order to promote transparency, Council will consider this resolution in on open meeting.

CONFLICTS OF INTEREST

No officer involved in preparing this report has a conflict of interest in its subject matter.





8.2.3 LOCAL ROADS AND COMMUNITY INFRASTRUCTURE PROGRAM PHASE 4

Author's Title: Acting Manager Assets

Department: Infrastructure and Delivery

File No: GS/03/02

Relevance to Council Plan 2021 - 2025

Strategic Objective: Our Built and Natural Environment

PURPOSE

This report is presented to Council to note the approval of the project list to be funded under the Federal Governments Local Roads and Community Infrastructure Phase 4.

SUMMARY

Officers are recommending that Council note the project list to be funded under the Federal Governments Local Roads and Community Infrastructure Phase 4.

RECOMMENDATION

That Council:

1. Note the Local Road and Community Infrastructure Program Phase 4 projects as attachment 1 to this report.
2. Delegate authority to the Chief Executive Officer to approve all variations to the Local Road and Community Infrastructure Program Phase 4 funding agreement.

Attachments: 1 [↓](#) VIC - Buloke - P4 - Approved Work Schedule - 23 07 24

DISCUSSION

The Local Roads and Community Infrastructure (LRCI) Program supports all Australian councils to deliver priority local road and community infrastructure projects in their region, creating jobs and long-lasting benefits for communities.

The Australian Government is committed to working in partnership with local, state and territory governments to deliver services and build infrastructure that delivers benefits and supports jobs in local communities.

The Government has committed \$3.25 billion the LRCI Program over four phases. Every local government, in all 150 electorates across Australia, is allocated and able to nominate projects for LRCI Program funding.

From July 2023, LRCI Program funding recipients were allocated \$750 million in Phase 4 funding. Phase 4 funding allocations include an additional \$250 million targeted to improve rural, regional and outer urban roads. Projects funded under Phase 4 are expected to be completed by 30 June 2025.

Buloke Shire Council was allocated \$1,599,763 under Part A (local roads and community infrastructure projects) and \$922,779 under Part B (roads projects only) for eligible projects. Eligible Community Infrastructure Projects are projects that involve the construction, maintenance and/or improvements to council-owned assets (including natural assets) that are primarily for the direct use and benefit of the local community.

The objective of the LRCI Program is to maintain and create jobs through road infrastructure and construction activities in communities across Australia. The intended outcomes of the LRCI Program are to:

- deliver benefits to communities, such as improved road safety, accessibility and visual amenity; and
- create local short-term employment opportunities through funding construction projects.

Phase 4 guidelines included a 'use it or lose it' principle, If:

- an Eligible Funding Recipient has not applied for the full amount of their Phase 4 Nominal Funding Allocation in a draft Work Schedule by 30 June 2024; or
 - savings related to Eligible Projects have not been reallocated under an Eligible Funding Recipient's Phase 4 Nominal Funding Allocation before 1 January 2025,
- then the Australian Government has the right to not pay the amount of the Phase 4 Nominal Funding Allocation not applied for or reallocated by the Eligible Funding Recipient.

Project construction can only begin once Project Nominations are approved by the Department. Projects are required to be physically completed by 30 June 2025.

Officers submitted the attached draft Work Schedule in line with projects included in the Annual Budget 2024/25 prior to 30 June 2024, the draft schedule was approved on 25 July 2024.

RELEVANT LAW

Not applicable.

RELATED COUNCIL DECISIONS

The Annual Budget 2024/25 includes a capital allocation for the following projects which included funding sources attributes to the LRCI grant; Rehabilitation and flood works, Watchem septic replacement and Playspace (Berri, Birchip, Charlton, Donald & Wycheproof). The amount nominated for the Playspace project has been adjusted to include the amount indicated as council cash in the budget, and increased by \$30,000 to allow for contingency. The Wooroonook septic replacement project has been included as there is yet to be a resolution to the insurance claim resulting from the October 2022 Floods, it has been included in LRCI as a contingency should the insurance claim be unsuccessful. The value of the individual septic replacements has been adjusted in the nomination based of the latest cost estimates however the combined amount is consistent with the approved budget.

The sections of road listed for rehabilitation will complement the works included in the recovery of the October 2022 flood event by completing sections between flood works that would otherwise not be funded.

The septic system works will allow for the installation of additional cabins to be installed at the lakes should council be successful in its application to the State Governments Regional Worker Accommodation Fund.

The funds for the Buloke Play Space Upgrades will allow for the full scope of improvements including lighting and shade to be delivered at 4 locations in the project funded through the State Governments Regional Infrastructure Fund, funding agreement signed on 22 June 2021. Gordon Park at Charlton will have some elements removed from scope and overall completion delayed due to reliance on the upcoming Flood Studies.

OPTIONS

Not Applicable.

SUSTAINABILITY IMPLICATIONS

The replacement of the existing septic systems at Watchem and Wooroonook lakes will increase the capacity of the system, reducing the risk of overflows and allow for additional cabins to be installed.

COMMUNITY ENGAGEMENT

The community was invited to provide feedback to the Annual Budget 2024/25. PAG groups have been established for all of the community infrastructure projects and they will be updated throughout planning and construction.

INNOVATION AND CONTINUOUS IMPROVEMENT

The sections of road nominated for rehabilitation will be constructed to current engineering standards.

COLLABORATION

Planning for the septic system replacement projects has included a CHMP process which has required collaboration with Traditional Owners, Dja Dja Wurrung Clans Aboriginal Corporation and Barengi Gadjin Land Council.

FINANCIAL VIABILITY

The LRCI Program Round 4 provides \$2,522,542 which will significantly benefit the local economy and assist Council in delivering key community and road infrastructure projects in the Buloke Shire.

REGIONAL, STATE AND NATIONAL PLANS AND POLICIES

Not Applicable

COUNCIL PLANS AND POLICIES**1. Our Built and Natural Environment**

Long term aspiration:

- A collaborative approach to safe, well designed and well maintained local and arterial road network.
- Active outdoor spaces

Long term strategies:

- Enhance parks and public spaces so they are welcoming, safe and accessible to encourage active recreation and participation.
- Work with key stakeholders to provide a safe road network and keep the community well informed.

2. Our Community Wellbeing

Long term aspiration:

- A collaborative approach to safe, well designed and well maintained local and arterial road network.
- A wide range of activities and connection opportunities for children and young people.

Long term strategies:

- Create and support opportunities that encourage community wellbeing, social connections and inclusion and active and healthy lifestyles.
- Offer/actively support a range of non-sport activities, events and leisure opportunities for residents of all ages including children and young people.

TRANSPARENCY OF COUNCIL DECISIONS

This report should be considered in an open Council meeting.

CONFLICTS OF INTEREST

No officers involved in the preparation of this report have a Conflict of Interest to declare.



Australian Government

Department of Infrastructure,
Transport, Regional Development,
Communications and the Arts

Local Roads and Community Infrastructure Program Phase 4 Approved Work Schedule

Declaration

I declare that:

- I have read, understood and agree to abide by the Program Guidelines on the Department's website at <https://investment.infrastructure.gov.au/about/local-initiatives/local-roads-and-community-infrastructure/resources.aspx> as in force at the time of submission;
- I have read, understood and agree to the Phase 4 Grant Agreement and a signed copy has been provided to the Department;
- The information I have submitted in this form is, to the best of my knowledge, true, accurate and complete. I also understand that giving false or misleading information is a serious offence under the *Criminal Code 1995* (Cth);
- The project/s are an eligible grant activity and will be physically complete by 30 June 2025 unless otherwise agreed by the Department;
- To the best of my knowledge there are no conflicts of interest OR I have separately provided information to the Department on any conflicts of interest;
- I understand that a condition of this grant funding is that the Eligible Funding Recipient commits to a minimum level of infrastructure spending in accordance with the requirements outlined in the Grant Agreement and Program Guidelines;
- That the Eligible Funding Recipient and its subcontractors and independent contractors will comply with all applicable laws; **and**
- I understand that the Local Roads and Community Infrastructure Program is an Australian Government program and that the Department will use the information provided in accordance with the following:
 - Australian Government Public Data Policy Statement;
 - Commonwealth Grants Rules and Guidelines; and
 - Applicable Australian laws.

I am submitting: ☒ Initial Project Nomination ☐ Variation Request (use 'track changes')

I am authorised to complete and submit this form and declaration on behalf of the Eligible Funding Recipient.

☒ Yes ☐ No

Full name: Wayne O'Toole

Position: Chief Executive Officer

Email address: wo'toole@buloke.vic.gov.au

Date: 28/06/2024

Note: Declaration must be updated for each submission (e.g. initial nomination and subsequent variations)
Form to be submitted as WORD document, not PDF

LRCI Program Use only: Approved by ☒ **SES Band 1** ☐ **EL2** **Date:** 23/07/2024



Australian Government
Department of Infrastructure, Transport,
Regional Development, Communications and the Arts

Local Roads and Community Infrastructure Program Phase 4 - Work Schedule - Project Nominations & Variations

- Funding Recipients are required to nominate project(s) they plan to undertake with LRCI Program Phase 4 funding by providing information to the Department via email LRCIP@infrastructure.gov.au.
- A separate Project Nomination row must be completed for each project or group of small projects that an Eligible Funding Recipient wishes to undertake. Insert rows where required.
- For ease of assessment, and to limit requests for more information, please complete all fields as completely and accurately as possible. **Do not** adjust formatting other than to add project rows.

Council Name:		Buloke Shire Council		LRCI Phase 4 Funding Allocation - PART A:		\$1599763							
#	Project Number & Details Note: Include location or street address in NAME & align project description with work categories on Page 4		Is this a disaster mitigation or recovery project?	Infrastructure Type [Please select one item]	Total Project Cost [\$]	*LRCI Phase 4 Funding Required [\$]	Construction Start Date [MM/YY]	Construction End Date [MM/YY]	Estimated jobs supported [Numerical figure]		Federal Electorate of Project	Project Location	**Project Land / Asset Owner
					Total cost cannot be less than funding required	Funding required cannot exceed allocation	Construction to be within 1/7/23 and 30/6/2025 as per guidelines		Council employees	Contractor		Lat/Long Coordinates	[Please select one item]
1	Project Name	Watchem Lake Treatment Plant Upgrade	No	Community	\$197,300	\$197,300	11/24	06/25	0	0.5	Mallee	-36.149, 142.847	Council
	Scope of Works	Replacement of existing septic system with an aerated treatment plant and associated effluent field involving earthworks, plumbing and electrical installation.											
	Problem Addressed/Community Benefit	The existing septic system is unable keep up with current peak demand. The new treatment plant will cater for existing amenities and allow for additional cabin accommodation in the future. The toilet and shower facility serviced by the existing septic system is the only publicly accessible facility at the lake and is open to the public year round. The ongoing operation of this facility is critical for the continued enjoyment of the lake by residents of Buloke Shire Council for social and recreational activities such as boating, fishing and camping.											
2	Project Name	Wooroonook Lake Treatment Plant Upgrade	Yes	Community	\$252,700	\$102,700	11/24	06/25	0	0.5	Mallee	-36.264, 143.190	Crown
	Scope of Works	Replacement of existing septic system with an aerated treatment plant and associated effluent field involving earthworks, plumbing and electrical installation.											
	Problem Addressed/Community Benefit	The existing septic system was impacted by flood damage in the October 2022 event, an insurance claim has been made for replacement of the system. In order to avoid future flood impacts the new treatment plant will need to be relocated to an area which is not flood prone at an additional cost. The new treatment plant will cater for existing amenities and allow for additional cabin accommodation in the future. The toilet and shower facility serviced by the existing septic system is the only publicly accessible facility at the lake and is open to the public year round. The ongoing operation of this facility is critical for the continued enjoyment of the lake by residents of Buloke Shire Council for social and recreational activities such as boating, fishing and camping.											
3	Project Name	Buloke Play Space Upgrades	No	Community	\$4,622,971	\$1,299,763	09/24	06/25	0	1	Mallee	-36.266, 143.349 -36.372, 142.986 -35.982, 142.918 -35.637, 142.995 -36.079, 143.226	Other
	Scope of Works	Installation of new playground equipment and associated works including electrical, lighting, shade, footpaths, landscaping, irrigation and drainage in parks in the following townships across Buloke. Berrillillock, Birchip, Charlton, Donald and Wycheproof.											
	Problem Addressed/Community Benefit	The completion of the Buloke Play Space Trail project will provide communities with a series of modern play spaces with new equipment, improved accessibility and safety.											
3	Totals - Part A				\$5,072,971	\$1,599,763			0	2			

#	* If project is not fully funded by LRCI, provide details of Council or other contribution	** If Project Land or Asset Owner is not Council, please indicate nature of permission
1		
2	\$75,000 Insurance Claim and \$75,000 Council Contribution	LOC has been granted and CHMP is being finalised
3	\$2,600,000 Victorian Government, Department of Jobs, Skills, Industry and Regions, Regional Infrastructure Fund and \$723,208 Council Contribution	Multiple locations, LOC granted where required
4		



Australian Government
Department of Infrastructure, Transport,
Regional Development, Communications and the Arts

Council Name:		Buloke Shire Council	LRCI Phase 4 Funding Allocation - PART B:			\$922,779		Total Funding: (Part A + Part B):			\$2,522,542		
#	Project Number & Details Note: Include location or street address in NAME & align project description with work categories on Page 4 (Project # to continue on from Part A - adjust as needed)		Is this a disaster mitigation or recovery project?	Infrastructure Type [Please select]	Total Project Cost [\$]	*LRCI Phase 4 Funding Required [\$]	Construction Start Date [MM/YY]	Construction End Date [MM/YY]	Estimated jobs supported [Numerical figure]		Federal Electorate of Project	Project Location	**Project Land / Asset Owner
	Total cost cannot be less than funding required	Funding required cannot exceed allocation			Construction to be within 1/7/23 and 30/6/2025 as per guidelines		Council employees	Contractor	Lat/Long Coordinates	[Please select one item]			
4	Project Name	Jeffcott Road Rehabilitation Ch 13780 – Ch 14560	No	Road	\$360,000	\$360,000	02/25	06/25	0	0.33	Mallee	-36.356, 143.130	Council
	Scope of Works	Full rehabilitation works to restore the pavement and seal of a section of Jeffcott Road to current appropriate standard.											
	Problem Addressed/Community Benefit	The road is currently in an overall poor condition, the rehabilitation will provide Improved travel comfort and safety for residents, tourists, primary producers and transport providers											
5	Project Name	Laen-Litchfield Road Rehabilitation Ch 8995 – Ch 9645	No	Road	\$299,890	\$299,890	03/25	06/25	0	0.33	Mallee	-36.306, 142.849	Council
	Scope of Works	Full rehabilitation works to restore the pavement and seal of a section of Laen-Litchfield Road to current appropriate standard.											
	Problem Addressed/Community Benefit	The road is currently in an overall poor condition, the rehabilitation will provide Improved travel comfort and safety for residents, tourists, primary producers and transport providers											
6	Project Name	Laen-Litchfield Road Rehabilitation Ch 8120 – Ch 8740	No	Road	\$286,045	\$262,889	03/25	06/25	0	0.33	Mallee	-36.314, 142.848	Council
	Scope of Works	Full rehabilitation works to restore the pavement and seal of a section of Laen-Litchfield Road to current appropriate standard.											
	Problem Addressed/Community Benefit	The road is currently in an overall poor condition, the rehabilitation will provide Improved travel comfort and safety for residents, tourists, primary producers and transport providers											
3	Totals – Part B				\$945935	\$922779			0	1			
6	Totals Part A + Part B				\$6018906	\$2522542			0	3			
#	* If project is not fully funded by LRCI, provide details of Council or other contribution				** If Project Land or Asset Owner is not Council, please indicate nature of permission								
3	\$23,156 Council Contribution												



Australian Government
Department of Infrastructure, Transport,
Regional Development, Communications and the Arts

Project Work Categories

Work Category - ROAD	Description
Bridge works	Any work involving bridges or culverts
Construction of a new road	Construction of a road where no road existed on that alignment before.
Drainage	Culverts, kerb and guttering and related activities where the purpose of the works is to improve drainage only.
General Road Maintenance	Pothole repairs, vegetation clearing, minor crack sealing and grading (unless new gravel is being added) are all considered to be general maintenance.
Noise and Vibration Mitigation Measures	Works related to reducing and mitigating noise and vibrations, such as quieter pavement surfaces and noise barriers
Reconstruction	Rebuilding a road that already exists (can include upgrading)
Rehabilitation	Work to return a road to its original standard
Resealing	Second or subsequent sealing of roads
Sheeting / Re-sheeting	Where additional gravel etc. is added on top of an existing road
Sealing	Putting a seal on an unsealed road.
Street lighting equipment	Works related to vehicle traffic and pedestrian lighting
Tunnel works	A tunnel to enable the building an underground road
Traffic improvement	Works involving traffic calming devices, traffic lights, pedestrian islands, lighting, warning signs and roundabouts
Widening	Work to make the surface or pavement of a road wider
Other	Works that do not fall into the above categories

Work Category - COMMUNITY	Description
Bicycle and Walking Paths	Works involving cycling and pedestrian infrastructure
Closed Circuit TV (CCTV)	Works associated with installing a fixed mobile CCTV system
Improved Accessibility of Community Facilities and Areas	Works could include pedestrian bridges, ramps, accessible public toilets, and designated car parking for individuals with a disability
Landscaping Improvements	Works could include tree planting to increase shade, creation of green spaces, and beautification of roundabouts
Net Zero	Works that support or contribute to the Net Zero Economy
Noise and Vibration Mitigation Measures	Works related to reducing and mitigating noise and vibrations, such as quieter pavement surfaces and noise barriers
Off-road Car Parks	Such as off-road car parks at sporting grounds or parks
Painting/Improvements to community facilities	Community facilities include community centres, community halls, childcare centres, educational establishment, club houses, and entertainment facilities
Picnic Shelters or Barbeque Facilities at Community Parks	Self-explanatory
Playgrounds and Skate parks (including all ability playgrounds)	Self-explanatory
Repairs/Replacement of fencing	Works relating to building a new fence or repairs/replacement of existing fences
Sporting and recreation facilities	Works to upgrade, repair or maintain sporting ovals, courts, swimming pools etc
Toilet Blocks	Works relating to construction or maintenance of public toilet block amenities
Other	Works that do not fall into the above categories

8.2.4 TOURISM BUSINESS INNOVATION GRANTS

Author's Title: Director Community Development

Department: Community Development

File No: ED/10/13

Relevance to Council Plan 2021 - 2025

Strategic Objective: Our Community Wellbeing

PURPOSE

To present to Council the recommended allocation of the Tourism Business Innovation Grant Program funding.

SUMMARY

The Tourism Business Innovation Grant Program was developed as a pilot project to maximise benefits from increased tourism, through the provision of seed funding to new and innovative tourism business ideas in Buloke.

Three applications were received for the Tourism Business Innovation Grant Program.

RECOMMENDATION

That Council allocates \$20,000 from the Tourism Business Innovation Grant Program to the Ray Neville Silo Art (Birchip Community Forum Inc) project.

Attachments: Nil

DISCUSSION

The Tourism Business Innovation Grant Program was developed as a pilot project to maximise benefits from increased tourism, through the provision of seed funding to new and innovative tourism business ideas in Buloke.

Businesses, individuals, and organisations were invited to apply for funding up to \$20,000 to establish a new business, idea or venture which:

- Aligned to key tourism strategies for Buloke Shire.
- Would increase visitation to the region.
- Value add to existing tourism products and experiences within Buloke Shire.
- Bring new target markets to our community.

Program Guidelines were developed to support projects and initiatives, prioritising applications which could demonstrate:

- Alignment with key strategies in the Interim Economic Development and Tourism Strategy 2023-2024:
 - Theme 1: COVID Recovery – “Positioning Buloke for Domestic Visitor Experiences”
 - Theme 4: Targeted industries investment – “Tourism Attractions and Responsive Town Businesses”, and “Enhance agribusiness diversification and value-adding”

- Alignment with priorities identified in the Silo Art Gap Analysis for Buloke:
 - Improved visitor servicing (improved and consistent offering, or innovative offerings)
 - Adding value to existing Silo Art Trail through innovative activation of current tourism product or development of new tourism product
- Increase visitor expenditure in Buloke by 2023-2024 through:
 - Attracting new target markets to the region, in line with Council's tourism markets or
 - Extending overnight stay within the region

As per the Guidelines, each application was assessed by an Assessment Panel. The Panel of three assessors consisted of a Buloke Tourism Board member, a specialist Council officer and an independent tourism professional.

Applications were assessed against the following criteria:

1. Application meets all eligibility requirements outlined in under 'Eligibility'.
2. Demonstratable alignment with key strategies identified in the Buloke Shire Council Interim Economic Development and Tourism Strategy 2022-2023.
3. Demonstratable alignment with priorities identified in Silo Art Gap Analysis for Buloke.
4. Demonstrates ability to achieve increased visitor expenditure by 2023-24 through: attracting new target markets to the region, in line with Council's tourism target markets OR extending the overnight stay in region.
5. Sustainability: ability to demonstrate a sustainable business model which will be successful beyond the funding period of 12 months.
6. Originality and uniqueness of the idea in Buloke.
7. Ability to impact/benefit multiple towns in Buloke.

Three applications were received for the Tourism Business Innovation Grant Program:

Applicant	Project Overview	Average Score
Donald District Pastoral and Agricultural Society Inc	Total projected expenditure: \$20,000 Other grant income/contributions: \$Nil Grant amount requested: \$20,000 To offer free family entertainment at this year's Donald Show.	15
Birchip Community Forum Inc	Total projected expenditure: \$200,000 Other grant income/contributions: \$32,000 Grant amount requested: \$30,000 To paint a mural on a cement silo in Birchip to honour the win of 15-year-old boy Ray Neville in the 1948 Melbourne Cup.	23
Gunyah Blooms	Total projected expenditure: \$20,000 Other grant income/contributions: \$Nil Grant amount requested: \$20,000 Establishing a flower farm to host ticketed you-pick events for the public to experience the farm and pick their own flowers to take home.	19

Based on the assessment scores, the Assessment Panel has recommended that the Council provide funding of \$20,000 for the Birchip Community Forum Inc silo art project.

Whilst acknowledging that silo art is not a new concept within Buloke Shire, the Panel felt that the location of the silo along the Sunraysia Highway will extend the current silo art trail to a different part of the shire. The ongoing sustainability of the project beyond the funding period of 12 months also strengthened the application.

The Panel has also requested that prior to awarding the funds, a more detail project plan is provided.

Council will continue to work with the Donald District Pastoral and Agricultural Society Inc and Gunyah Blooms to identify other internal and external funding options to support their projects.

RELEVANT LAW

Not applicable to this report.

RELATED COUNCIL DECISIONS

Not applicable to this report.

OPTIONS

Council has the option to not to allocate the funds as recommended by the Assessment Panel however, such amendments to the proposed funding recommendations may undermine the integrity and fairness of the assessment process.

SUSTAINABILITY IMPLICATIONS

Not applicable to this report.

COMMUNITY ENGAGEMENT

The program was advertised and promoted widely across the Buloke Shire community. Applicants were contacted by either a Council officer and/or an external consultant if their application required additional information or clarification.

INNOVATION AND CONTINUOUS IMPROVEMENT

Not applicable to this report.

COLLABORATION

Not applicable to this report.

FINANCIAL VIABILITY

The Business Innovation Pilot program has been funded externally by Department of Jobs, Precincts and Regions (DJPR) Tourism Infrastructure Program (Flagship Projects).

In 2021, Council received \$790,000 in funding under the Department of Jobs, Precincts and Regions (DJPR) Tourism Infrastructure Program (Flagship Projects) to deliver a four-part project including:

- Buloke accommodation for lakes inviting niche tourism,
- Night activation for Silo Art,
- A Street Art Festival, and a
- Business Innovation Pilot program.

As a result of receiving the funding from the Department of Jobs, Precincts and Regions (DJPR) Tourism Infrastructure Program (Flagship Projects), Council had the opportunity to administer a once-off grant program worth a total of \$60,000 to fund tourism business pilots in the Buloke Shire over two rounds.

As part of the Business Innovation Pilot program, Council has previously awarded funding as follows:

- Birchip Cropping Group \$30,000 June 2022, and
- Blue Duck Donald Distillery & Smokehouse \$15,000 October 2022.

At the Council Meeting held Wednesday, 12 October 2022, Council resolved as follows:

That Council

1. *Award \$15,000 to the Blue Duck Distillery in Donald, and*
2. *Retain the remaining \$15,000 in the fund to run a third round in 2023.*

Originally the pilot program was to be run over two rounds. However, with the under spend in round two, a third round was approved.

This report is presented to the Council in relation to funding under round three of the Business Innovation Pilot Program and recommends the Council authorise the payment of \$20,000 to the Ray Neville Silo Art (Birchip Community Forum Incorporated) project.

Initially intended to be funded externally, Council and Regional Development Victoria agreed that the external funds be used on another project, thus leaving the project underfunded. Any shortfall in funding will be covered by the Economic Development budget as this initiative aims to foster innovation and growth in the local tourism sector and is a commitment in the Economic Development Strategy. The project not completed within the Economic Development budget was the supply chain analysis.

REGIONAL, STATE AND NATIONAL PLANS AND POLICIES

Not applicable to this report.

COUNCIL PLANS AND POLICIES

Buloke Shire Council Plan 2021-2025 and Long-Term Community Vision.
Community Grant Guidelines.
Community Engagement Policy.

TRANSPARENCY OF COUNCIL DECISIONS

Not applicable to this report.

CONFLICTS OF INTEREST

No staff member involved in the compilation of the report has a conflict of interest to declare.

All members of the Assessment Panel have no conflict of interest to disclose in relation to their recommendations or this report.

8.2.5 COMMUNITY GRANTS

Author's Title: Director Community Development

Department: Community Development

File No: GS/09/42

Relevance to Council Plan 2021 - 2025

Strategic Objective: Our Community Wellbeing

PURPOSE

The purpose of this report is to present the updated Community Support Policy to Council for adoption.

SUMMARY

Buloke Shire community groups and organisations benefit from Council support to develop and deliver a range of local events, activities, initiatives, programs and services.

The Community Support Policy provides transparency in what and who Council can support to enable community groups and organisations to achieve greater success.

The review of this policy was initiated by the appointed Municipal Monitor to address the recommendations of the Victorian Auditor-General's Office (VAGO) Fraud Control Over Local Government Grants report.

RECOMMENDATION

That Council adopts the updated Community Support Policy.

Attachments: 1 [Community Support Policy](#)

DISCUSSION

Council provides support to the community in various ways and its Community Support Policy presents an overarching framework to determine the nature and level of support available.

A review was recently undertaken to ensure the policy addressed Recommendation 3 of the VAGO Fraud Controls Over Local Government Grants report (May 2022) – *'exclude Councillors from assessing and making recommendations on grant applications'* (Pg.7).

Amendments made to the policy (highlighted in the attached) include reference to the assessment of community support applications and requests being administered by Council officers using the Councillor approved criteria.

The recommended changes to the Community Support Policy, will also be applied to relevant Council documents (i.e. Community Grants Guidelines), to ensure consistency in program delivery, processes and messaging.

RELEVANT LAW

Not applicable to this report.

RELATED COUNCIL DECISIONS

Council adopted the previous Community Support Policy on 12 April 2023.

OPTIONS

Council has the option to not adopt the updated Community Support Policy.

SUSTAINABILITY IMPLICATIONS

Sustainability implications will be considered by Council officers when assessing fee waiver requests for planning permit applications as well as when assessing Sponsorship requests and Community and Sustainability Grant applications.

COMMUNITY ENGAGEMENT

A communication plan will be developed to inform the community of the updated Community Support Policy and to promote the 2024-25 Community Grants and Sustainability Grants Program, including Sponsorship.

Community information workshops will also be held to inform prospective applicants about the revised assessment processes.

INNOVATION AND CONTINUOUS IMPROVEMENT

The updated policy reflects Council's commitment to continuously review and improve its policies and processes to better support the events, activities, initiatives, programs and services developed and delivered by the community groups and organisations within Buloke Shire.

COLLABORATION

The review of this policy was initiated by the appointed Municipal Monitor and developed in consultation with the Community Development Directorate and Council's Executive Management Team.

FINANCIAL VIABILITY

In its Annual Budget 2024-25, Council allocated \$20,000 for the Community Grants Program and \$50,000 for the Sustainability Grants Program.

The financial impact of waving fees is also considered in the Annual Budget.

REGIONAL, STATE AND NATIONAL PLANS AND POLICIES

Local Government Act 2020

COUNCIL PLANS AND POLICIES

Buloke Shire Council Annual Budget

Buloke Shire Council Community Grants Guidelines

Buloke Shire Long Term Community Vision and Council Plan 2021-2025

Buloke Shire Council Financial Plan

TRANSPARENCY OF COUNCIL DECISIONS

The updated Community Support Policy provides transparency in the types of support Council can provide.

CONFLICTS OF INTEREST

No officer involved in the preparation of this report has a conflict of interest.



Policy Title	Community Support Policy		
Responsible Directorate	Community Development		
Policy No		Date adopted	XX August 2024
Revision No	3	Revision Date	August 2025

Purpose

This policy provides an overarching framework to determine the nature and level of support provided to community groups and organisations

Guidelines

The policy applies to eligible organisations and community groups seeking support from Council.

This is defined as:

Base level criteria to be considered for all types of community support

The group or organisation is:

- an incorporated community group or auspiced by an incorporated organisation (as defined by the Australian Taxation Office),
- or a Community Asset Committee

The group or organisation:

- has provided evidence of its financial sustainability;
- has documented evidence of need for the program, activity or service offered by the group or organisation;
- has outlined the intended community outcomes from the program, service or activity;
- will deliver the program, activity or service within the Shire;
- is willing to enter into an agreement with Council which requires the community group or organisation to undertake an acquittal and review/evaluation process; and
- is willing to publicly acknowledge Council's support in all promotional material and in the media.

Council will also consider the following aspects in determining community support:

- a Shire wide perspective of community need, access and equity;
- avoiding duplication of service, programs and activities;
- availability of facilities; and
- risk management and potential liability for Council.

Council does not provide community support for:

For-profit organisations, religious groups, political parties, unincorporated groups or individuals.

Council will provide support in the following ways:

1. Fee waiver for hire of Council owned facilities
2. Direct annual funding agreements with the Recreation Reserve Committees of Management
3. Community Grants Program
4. Sustainability Grants Program
5. Sponsorships
6. Fee waiver on planning permits required on Council owned or managed land and Crown Land.

7. Fee waiver (excluding the levy) on a Building Permit required on Council owned or managed land and Crown Land.
8. Provisions of assistance with events including signage and traffic management controls.
9. Assistance with governance arrangements and grant submissions within operational resources.

Assessment

The assessment criteria for the Community Grants Program, Sustainability Grants Program and Sponsorships will be determined by Councillors and detailed in the Community Grants Guidelines.

Assessment and allocation of all competitive grants and sponsorships is to be undertaken administratively by a panel of Council officers using the approved criteria.

Assessment of applications for fee waivers will be administered by Council officers using the eligibility criteria determined by Councillors.

References

Legislation

This policy was developed in accordance with the following legislation:

- Local Government Act 2020

Documents

This policy was developed in accordance with the following documents:

- Buloke Shire Council Annual Budget
- Buloke Shire Council Community Grants Guidelines
- Buloke Shire Long Term Community Vision and Council Plan 2021-2025
- Buloke Shire Council Financial Plan
- Victorian Auditor-General's Office – Fraud Control Over Local Government Grants (May 2022)

8.3 FINANCIAL REPORTS

Nil

8.4 ORGANISATIONAL REPORTS

8.4.1 COUNCIL PLAN 2021-2025 - YEAR 3 ANNUAL PLAN REVIEW

Author's Title: Director Community Development

Department: Community Development

File No: CM/13/06

Relevance to Council Plan 2021 - 2025

Strategic Objective: Our Council and Community Leadership

PURPOSE

The purpose of this report is to provide Council a final update on the actions taken against the Council Plan 2021-2025 - Year 3 Annual Plan.

SUMMARY

Council at its 16 June 2021 Meeting adopted its Long-Term Community Vision and Council Plan 2021-2025 and subsequently developed an Annual Plan for the implementation of the strategic objectives in each subsequent financial year.

RECOMMENDATION

That Council note the progress made to deliver the strategic objectives noted in the Year 3 Annual Plan for the Buloke Council Plan 2021-2025 at Attachment 1 to this report.

Attachments: 1 [Year 3 Annual Plan Quarterly Report June 2024](#)

DISCUSSION

Council is required by the *Local Government Act 2020* to prepare a Council Plan containing the strategic objectives of Council, strategies for achieving those objectives, and indicators to monitor the achievement of those objectives.

The Council Plan 2021-2025 – Year 3 Annual Plan report provides an overview of Council's performance in delivering the year three actions that will contribute to the completion of the four-year strategic actions in the Council Plan 2021-25.

Overall, the Quarter 4 results indicate that delivery of the Council Plan 2021-2025 – Year 3 Annual Plan progressed well, with 29% (8 actions) Completed, and 50% (14 actions) Commenced and 21% (6 action) Delayed. Of the 21 actions commenced or delayed, these actions will be carried forward to be completed in the 2024/25 financial year and 3 actions were identified as multiyear actions.

Council receives progress reports against the Year 3 Annual Plan throughout the financial year.

The final report outlines delivery against the Annual Plan, and the overarching Council Plan 2021-2025.

The key actions completed include:

- VicHealth Local Government Partnership Project Year 3 delivered.

- Support community groups to purchase and implement solar initiatives through the Community Sustainability Grants Program and other external funding sources and programs.
- Road Services Internal Service Review
- Submit Gender Equality Action Plan Progress Report to the Commissioner for Gender Equality.
- Finalise and adopt the Buloke Shire Children, Youth & Families Strategy.
- Help facilitate transition of community members receiving Home and Independence Support Services to new providers under the Federal Government's Support at Home Program.
- Continue to advocate for the provision of viable childcare services for Buloke Shire and rural communities.
- Silo Art Night Activation installed.

The key actions carried forward to the 2024/25 financial year or are multiyear key actions include:

- Implement New Housing Rates Incentive Program.
- Revisit preparation of Buloke Drainage Plans and associated flood modelling in partnership with Catchment Management Authorities.
- Complete Streetscape upgrades in Donald and Sea Lake.
- Complete Construction of Playspaces for Berriwillock, Donald, and Wycheproof.
- Complete Key Heavy Road upgrade projects including Marlbed-Curyo Road and Jeffcott Road.
- Develop and adopt Buloke Shire Council Aquatic Strategy.
- Complete Birchip Recreation Reserve Masterplan.
- Complete Project Plan for Donald Recreation Reserve Masterplan ahead of Plan development in 2024/25.
- Complete Project Plan for Sea Lake Recreation Reserve Masterplan ahead of Plan development in 2024/25.
- Achievement of Land Use Activity Agreements for the Donald Playspace Project and Flood Initiatives.
- Undertake Library Service Review and develop subsequent Library Service Plan.
- Work with communities to prepare Community Plans for localities to drive community connectedness and outcomes.
- Implement identified initiatives from the Interim Economic and Tourism Development Strategy.
- Review, update and adopt Council's Advocacy Strategy in line with Council's Long-Term Community Vision and Council Plan 2021-2025.

RELEVANT LAW

The Annual Plan forms part of the review of the Council Plan, required under the *Local Government Act 2020*.

RELATED COUNCIL DECISIONS

This item responds directly to the adoption of the Year 3 Annual Plan on 9 August 2023 and noting of progress against the plan on 8 November 2023, 14 February 2024, and 8 May 2024.

OPTIONS

Not applicable.

SUSTAINABILITY IMPLICATIONS

There are no sustainability implications.

COMMUNITY ENGAGEMENT

There was significant consultation undertaken in the development of the Council Plan 2021-2025, which is the basis of this document. Further actions have been developed through consultation with the community over the past two years. Many of the actions have a high level of community engagement.

INNOVATION AND CONTINUOUS IMPROVEMENT

Reporting on the delivery of strategic objectives ensures continuous improvement and accountability to the community.

COLLABORATION

Many actions achieved in the Annual Plan rely upon the collaboration of other Councils and key peak bodies, local stakeholder groups and the community.

FINANCIAL VIABILITY

The items listed in the Annual Plan have been factored into the Annual Budget, which is reported on regularly.

REGIONAL, STATE AND NATIONAL PLANS AND POLICIES

Not applicable.

COUNCIL PLANS AND POLICIES

This report responds directly to the implementation of the Council Plan 2021-2025 and the adopted Annual Plan.

TRANSPARENCY OF COUNCIL DECISIONS

The adoption of regular reporting on the Annual Plan provides strong transparency to the community regarding the key focus areas of Council over the 2023/24 year and how Council is tracking against those actions.

CONFLICTS OF INTEREST

No staff member involved in the compilation of this report has a conflict of interest to declare.

Buloke Shire Council Plan 2021-2025

Annual Plan - Year 3 - Periodic Report

Priority 1:

Our Built and Natural Environment.

The Vision: Our future Buloke has quality, safe and accessible infrastructure valued by and responsive to the community alongside attractive streetscapes and a protected and celebrated natural environment reflecting Buloke pride.

Initiative	Council Plan Relevance	Measure	Timeframe	Status	Comments
Climate Change Mitigation and Adaption Strategy	1.1 Work Towards Sustainability	Funding sought to continue the implementation of the Climate Change Mitigation and Adaption Strategy.	June 2024	Commenced	Working with the CVGA with an eye to the Federal Government's \$100 million Community Energy Upgrades Fund and the Regional Greenhouse Alliance Neighbourhood Battery Investigation.
Community-based Solar Bulk-Buy Initiatives	1.1 Work Towards Sustainability	Support community groups to purchase and implement solar initiatives through the Community Sustainability Grants Program and other external funding sources and programs.	June 2024	Completed	Council is proactively encouraging local community organisations to consider applying for a Sustainability Grant to support any community-led sustainable initiatives. The introduction of SmartyGrants, an online application process, has made the application process more user friendly however a review of the Community Grants Guidelines

					and Program is required to better support the community in accessing the Community Sustainability Grants Program pool.
Rural Land Use Strategy	1.2 Suitable Housing Options	Continue to investigate a Buloke Shire Rural Land Use Strategy to provide strategic direction and a consistent approach to use and development of rural land for rural-style living.	June 2024	Commenced Delayed	Councillors have undertaken a workshop with the consultant as this priority progresses. Community Consultation currently underway with a survey currently open until early August.
Housing and Development Incentives	1.2 Suitable Housing Options	Implement New Housing Rates Incentive Program.	June 2025	Commenced Delayed	A preliminary assessment was made during the 2023/24 budget development process and will be further developed for Council consideration. Further consideration required following the completion of the Rural Land Use Strategy. Council is continuing to review its Long-Term Financial Sustainability. A new Revenue and Rating Plan will be reviewed by 30 June 2025.
Buloke Drainage Plans	1.3 An Attractive and Well Maintained Buloke	Revisit preparation of Buloke Drainage Plans and associated flood modelling in partnership with Catchment Management Authorities.	June 2025	Commenced *multi-year	Supported MCMA in funding application to risk and resilience fund for LiDAR which has been successful; Partnered with NCCMA seeking Disaster Ready Fund funding for LiDAR and flood studies. LiDAR survey may take

					up to 12 months to complete. Project for DAMP and drainage plan development not fully scoped and on hold until LiDAR survey details available.
Streetscape Upgrades	1.3 An Attractive and Well Maintained Buloke	Complete Streetscape upgrades in Donald and Sea Lake.	June 2025	Commenced <i>*Donald & Sea Lake PC FY25</i>	Sea Lake will be completed pending resolution of contract. Donald will have some components which are anticipated to be carried forward to FY25 – specifically non-slip treatment and basketball half court. PAG advised and agree with proposed delay. DDW engaged to complete mural late 2024.
Buloke Playspaces Trail	1.3 An Attractive and Well Maintained Buloke	Complete Construction of Playspaces for Berriwillock, Donald, and Wycheproof.	June 2025	Commenced <i>*multi-year *additional scope (LRCI)</i>	Full scope including lighting and shade at the 4 sites to be completed in FY25 pending outcome of LRCI nominations
Key Heavy Road Upgrades	1.4 A Safe and Active Buloke	Complete Key Heavy Road upgrade projects including Marlbed-Curyo Road and Jeffcott Road.	June 2025	Commenced	Marlbed- Curyo Road complete pending final seal. Jeffcott Road delayed, construction timing to be considered along with nearby flood affected sections.
Road Services Internal Service Review	1.4 A Safe and Active Buloke	Road Services Internal Service Review completed with report to Councillor briefing.	June 2024	Completed	Briefing with Councillors held in November 2023.

Buloke Shire Council Aquatic Strategy	1.4 A Safe and Active Buloke	Develop and adopt Buloke Shire Council Aquatic Strategy.	March 2025	Delayed	Significant OHS and plant/equipment services reviews and recommendations being implemented prior to the 2024/25 pool season. These have been undertaken as priority. This action has been impacted by staffing availability in the area.
Birchip Recreation Reserve Masterplan	1.4 A Safe and Active Buloke	Complete Birchip Recreation Reserve Masterplan.	September 2024	Nearing Completion	Masterplan being finalised with committee of management and consultant with the aim of being presented to council.
Donald Recreation Reserve Masterplan	1.4 A Safe and Active Buloke	Complete Project Plan for Donald Recreation Reserve Masterplan ahead of Plan development in 2024/25.	March 2025	Commenced Delayed	Recreation allocations have been subjected to a more transparent governance process to adhere to the <i>Local Government Act 2020</i> . This process has taken priority ahead of the master planning process advancement.
Sea Lake Recreation Reserve Masterplan	1.4 A Safe and Active Buloke	Complete Project Plan for Sea Lake Recreation Reserve Masterplan ahead of Plan development in 2024/25.	March 2025	Commenced Delayed	Recreation allocations have been subjected to a more transparent governance process to adhere to the <i>Local Government Act 2020</i> . This process has taken priority ahead of the master planning process advancement.

Priority 2:**Our Community Wellbeing.**

The Vision: Our future Buloke is a welcoming, well-connected and inclusive community built around social connections for all age groups and backgrounds and access to, as well as ongoing advocacy for, vital services.

Initiative	Council Plan Relevance	Measure	Timeframe	Status	Comments
VicHealth Local Government Partnership	2.1 Partnerships to Outcomes	VicHealth Local Government Partnership Project Year 3 delivered.	June 2024	Completed <i>Ongoing with new funding</i>	Delivered Year 3 of the VicHealth Local Government Partnership project. Providing engagement activities for young people including, creative workshops and opportunities, and facilitating youth leadership workshops. New funding secured to assist with the development of the Municipal Public Health & Wellbeing Plan.
Land Use Activity Agreements	2.2 Inclusiveness Plan in Action	Achievement of Land Use Activity Agreements for the Donald Playspace Project and Flood Initiatives.	June 2025	Commenced <i>*LUAA projects/initiatives multi-year</i>	LUAA for Donald Playspace finalised – works/projects under LUAA ongoing; LUAA requirements for Donald pre-fab levee to be determined (likely alteration to existing CHMP required).
Gender Equality Action Plan	2.2 Inclusiveness Plan in Action	Submit Gender Equality Action Plan Progress Report to the Commissioner for Gender Equality.	20 February 2024	Completed	Reporting to the Commissioner for Gender Equality was completed in February 2024.

Library Services Review	2.3 Well Supported Community	Undertake Library Service Review and develop subsequent Library Service Plan.	December 2024	Commenced Delayed	Initial internal review of policies and procedures being undertaken, RFQ document being drafted. Changes in funding to Public Libraries Victoria (PLV) new trial system for inter library loans has delayed review process. PLV lobbying State Government for increased Libraries funding currently.
Buloke Shire Children, Youth & Families Strategy	2.3 Well Supported Community	Finalise and adopt the Buloke Shire Children, Youth & Families Strategy.	December 2023	Completed	The Children, Youth & Families Plan was adopted by Council in April 2024.
Buloke Shire Integrated Community Planning Framework	2.4 Increased Community Wellbeing	Prepare and adopt the Buloke Shire Integrated Community Planning Framework.	March 2024	Commenced	An internal working group has been established. The working group has engaged with several other Councils to assist in the planning stage. The project is currently behind schedule.
Community Plans	2.4 Increased Community Wellbeing	Work with communities to prepare Community Plans for localities to drive community connectedness and outcomes.	September 2024	Commenced	Seven community plans completed with the remaining three in draft on track to be completed in the short term. Project behind schedule due to community capacity.
Home and Independence Support Services Transition	2.4 Increased Community Wellbeing	Help facilitate transition of community members receiving Home and Independence Support Services to new providers	December 2023	Completed	Transition was completed in December 2023 to four new service providers. Administration staff finished in February 2024. Thank you to everyone involved

		under the Federal Government's Support at Home Program.			in this service provision over nearly 40 years.
Viable Childcare Services Advocacy	2.4 Increased Community Wellbeing	Continue to advocate for the provision of viable childcare services for Buloke Shire and rural communities.	June 2024	Completed	Long daycare now offered in all five Early learning centres across the Shire.

Priority 3:**Our Economy.**

The Vision: Our future Buloke is an innovative and strong economy with agriculture, small business and industry capitalising on new ideas to provide a range of employment and tourism opportunities backed by the services, connectivity and housing to achieve population stability.

Initiative	Council Plan Relevance	Measure	Timeframe	Status	Comments
Silo Art Night Activation	3.1 Tourism	Silo Art Night Activation installed.	August 2024	Completed	Projection Equipment installed and tested. Content for projection being finalised with input from PAG group.
Birchip Civic and Community Hub Project	3.2 Attraction and Promotion of Local Businesses	Preparation of feasibility study for the Birchip Civic and Community Hub Project.	June 2024	Ongoing	Community consultation ongoing. Community planning process for the township has taken precedent and will help progress this project through the calendar year.
Implement Interim Economic and Tourism Development Strategy	3.3 Employment Opportunities	Implement identified initiatives from the Interim Economic and Tourism Development Strategy.	June 2025	Commenced	Working with external stakeholders to address workforce participation roadblocks e.g. childcare/disability support. Community consultation is ongoing regarding priorities and solutions. Opportunities for collaboration with educational institutions and career guidance services are also being discussed. New opportunities are being explored in the development of the Economic Development Strategy. Request for quote is being developed for the Economic Development Strategy.

Priority 4:**Our Council and Community Leadership.**

The Vision: Our future Buloke is dynamically led by a council that informs community, has active partnerships, authentic advocacy and quality customer service delivering valued responsive community services in a responsible way.

Initiative	Council Plan Relevance	Measure	Timeframe	Status	Comments
Safer Together Program	4.1 Active Leaders and Volunteers	Deliver the Safer Together Program in conjunction with Gannawarra Shire Council and report to Council Safer Together Program progress.	October 2024	Ongoing	Project has been revised in consultation with the CFA. To be delivered in partnership with the ten Community Planning Forums with completion due October 2024. This project no longer will be delivered in conjunction with Gannawarra Shire Council. Project impacted by staff changes.
Customer Experience Strategy	4.2 Community Engagement	Implement identified initiatives from the Customer Experience Strategy.	June 2024	Ongoing	Wellbeing and Customer Service training conducted; Customer Experience Charter adopted; Service medals awarded; Staff Ambassadors promoted through staff bulletin; staff annual well-being survey conducted. Internal communications systems better integrated, Complaints management policies updated; Translation services introduced; Cultural and diversity training delivered to Management team; community engagement provided

					through street walk surveys (Community Recovery); On Hold message updated with staff safety message; Customer Journey mapping undertaken in Customer engagement as pilot; Website information review progressed iPads purchased to help improve in-person community engagement and increased use of posters with direct links to QR-codes; Communications Toolkit draft completed.
Advocacy Strategy	4.4 A Well Governed and Healthy Organisation	Review, update and adopt Council's Advocacy Strategy in line with Council's Long-Term Community Vision and Council Plan 2021-2025.	August 2024	Commenced	Advocacy Strategy to be finalised August 2024.

8.4.2 COUNCIL PLAN 2021-2025 - YEAR 4 ANNUAL PLAN

Author's Title: Director Community Development

Department: Community Development

File No: GS/02/02

Relevance to Council Plan 2021 - 2025

Strategic Objective: Our Council and Community Leadership

PURPOSE

The purpose of this report is to adopt the Council Plan 2021-2025 - Year 4 Annual Plan, which outlines the delivery of the final year of the Buloke Shire Council Plan 2021-2025.

SUMMARY

Following the adoption of the Council Plan 2021-2015, each year Council develops an Annual Plan to report progress against the Council Plan.

RECOMMENDATION

That Council adopts the Council Plan 2021-2025 – Year 4 Annual Plan at Attachment 1 to this report.

Attachments: 1 [Year 4 Annual Plan](#)

DISCUSSION

The Council Plan 2021-2025 – Year 4 Annual Plan is an important component of Council's strategic planning. It has been developed to note the strategic objectives of the Council Plan and demonstrates as well as documents the tasks, measures, and completion dates in order to deliver Council's strategic objectives.

Council is required by the *Local Government Act 2020* (the Act) to prepare a Council Plan containing the strategic objectives of Council, strategies for achieving those objectives, and indicators to monitor the achievement of those objectives.

The 2024-25 Council Plan Action Plan report provides an overview of Council's performance in delivering the year four actions that will contribute to the completion of the four-year strategic actions in the Council Plan 2021-25.

The Council Plan 2021-2025 – Year 4 Annual Plan highlights a range of key actions against the strategic objectives set out in the Council Plan 2021-2015.

The Council Plan 2021-2025 – Year 4 Annual Plan proposes 17 actions. Some of the key actions/projects included in the attached Council Plan 2021-2025 – Year 4 Annual Plan include:

- Develop and Adopt a Reconciliation Action Plan in collaboration with Registered Aboriginal Parties and Traditional Owners.
- Develop a Buloke events framework to enable local events to take place in a Covid normal environment.

- Work with the Victorian Electoral Commission, Victorian Local Governance Association, and the Municipal Association of Victoria to promote the 2024 Council election to raise awareness for potential Councillor candidates.
- Review the Revenue and Rating Plan in accordance with the *Local Government Act 2020* and present to Council for adoption by 30 June 2025.

RELEVANT LAW

Not applicable.

RELATED COUNCIL DECISIONS

This document relates directly to the adoption of the Buloke Shire Council Long-Term Community Vision and Council Plan 2021-2025 document adopted on 16 June 2021.

Subsequently, Council has adopted and reported against Annual Plan Year 1, Annual Plan Year 2, and Annual Plan Year 3.

OPTIONS

Not applicable.

SUSTAINABILITY IMPLICATIONS

Sustainability implications are addressed as part of the Council Plan 2021-2025 under the key strategic objective Our Built and Natural Environment.

There are items included in the Annual Plan relating directly and indirectly to Council's Climate Change Mitigation and Adaptation Strategy.

COMMUNITY ENGAGEMENT

Council undertook a significant community engagement program to devise the Long-Term Community Vision and Council Plan 2021-2025. The Annual Plan – Year 4 continues on from this document, outlining what is to be achieved in the final year of the Council Plan 2021-2025. Projects and programs delivered as part of the Annual Plan – Year 4 would be subject to Council's Community Engagement Policy.

INNOVATION AND CONTINUOUS IMPROVEMENT

The document outlines a range of initiatives and programs that build on the feedback from the community with indicators and completion dates to promote continuous improvement and will be reported on quarterly.

COLLABORATION

This document reflects the collaboration undertaken as part of the Long-Term Community Vision and Council Plan 2021-2025, in which Council collaborated with a range of stakeholders and regional and state bodies.

There are also projects outlined that will be collaborations with other organisations, Local Government Entities and State and Federal Government.

FINANCIAL VIABILITY

The costing of projects identified within the Annual Plan have budget allocations made in the Annual Budget 2024/25 or will rely on grant funding as outlined.

REGIONAL, STATE AND NATIONAL PLANS AND POLICIES

There are a range of Regional, State and National Plans referenced throughout the Long-Term Community Vision and Council Plan 2021-2025 which informs this document. They are specifically named under the heading of "Current Strategies and Plans" following each key focus area.

The Provision of an Annual Plan is consistent with requirements under the *Local Government Act 2020*.

COUNCIL PLANS AND POLICIES

- Buloke Shire Council Long-Term Community Vision and Council Plan 2021-2025
- Climate Change Mitigation and Adaptation Strategy
- Gender Equality Action Plan
- Annual Budget 2024/25
- Financial Plan

TRANSPARENCY OF COUNCIL DECISIONS

This report comes on the back of the adoption of the Council Plan 2021-2025 to demonstrate the delivery of this plan over the fourth year and will be reported on quarterly.

CONFLICTS OF INTEREST

No staff member involved in the compilation of the report has a conflict of interest to declare.

Buloke Shire Council Plan 2021-2025

Annual Plan - Year 4

Priority 1:

Our Built and Natural Environment.

The Vision: Our future Buloke has quality, safe and accessible infrastructure valued by and responsive to the community alongside attractive streetscapes and a protected and celebrated natural environment reflecting Buloke pride.

Initiative	Council Plan Relevance	Measure	Timeframe
Climate Change Mitigation and Adaption Strategy	1.1 Work Towards Sustainability	Funding sought to further advance the implementation of the Climate Change Mitigation and Adaption Strategy.	June 2025
Rural Land Use Strategy	1.2 Suitable Housing Options	Continue to investigate a Buloke Shire Rural Land Use Strategy to provide strategic direction and a consistent approach to use and development of rural land for rural-style living.	June 2025
Buloke Drainage Plans	1.3 An Attractive and Well Maintained Buloke	Revisit preparation of Buloke Drainage Plans and associated flood modelling in partnership with Catchment Management Authorities.	June 2025 Multiyear Project
Buloke Shire Council Aquatic Strategy	1.4 A Safe and Active Buloke	Develop and adopt Buloke Shire Council Aquatic Strategy.	March 2025 Multiyear Project

Donald Recreation Reserve Masterplan	1.4 A Safe and Active Buloke	Complete Project Plan for Donald Recreation Reserve Masterplan ahead of Plan development in 2024/25. Carried forward.	March 2025
Sea Lake Recreation Reserve Masterplan	1.4 A Safe and Active Buloke	Complete Project Plan for Sea Lake Recreation Reserve Masterplan ahead of Plan development in 2024/25. Carried forward.	March 2025

Priority 2:

Our Community Wellbeing.

The Vision: Our future Buloke is a welcoming, well-connected and inclusive community built around social connections for all age groups and backgrounds and access to, as well as ongoing advocacy for, vital services.

Initiative	Council Plan Relevance	Measure	Timeframe
VicHealth Local Government Partnership	2.1 Partnerships to Outcomes	Deliver against the VicHealth Local Government Partnership Project.	June 2025
Reconciliation Action Plan	2.3 Well Supported Community	Develop and Adopt a Reconciliation Action Plan in collaboration with Registered Aboriginal Parties and Traditional Owners.	June 2025
Library Services Review	2.3 Well Supported Community	Undertake Library Service Review and develop subsequent Library Service Plan. Carried forward	December 2024
Positive Ageing Strategy	2.4 Increased Community Wellbeing	Develop and Adopt a Positive Ageing Strategy.	February 2025

Priority 3:**Our Economy.**

The Vision: Our future Buloke is an innovative and strong economy with agriculture, small business and industry capitalising on new ideas to provide a range of employment and tourism opportunities backed by the services, connectivity and housing to achieve population stability.

Initiative	Council Plan Relevance	Measure	Timeframe
Key Tourist Wayfinding	3.1 Tourism	Develop a gap analysis on signage for key tourist wayfinding	June 2025
Buloke Events Framework	3.2 Attraction and Promotion of Local Businesses	Develop a Buloke events framework to enable local events to take place in a Covid normal environment.	June 2025
Economic and Tourism Development Strategy	3.3 Employment Opportunities	Develop and adopt a new Economic and Tourism Development Strategy.	June 2025

Priority 4:**Our Council and Community Leadership.**

The Vision: Our future Buloke is dynamically led by a council that informs community, has active partnerships, authentic advocacy and quality customer service delivering valued responsive community services in a responsible way.

Initiative	Council Plan Relevance	Measure	Timeframe
Council Elections	4.1 Active Leaders and Volunteers	Work with the Victorian Electoral Commission, Victorian Local Governance Association, and the Municipal Association of Victoria to promote the 2024 Council election to raise awareness for potential Councillor candidates.	October 2024
Advocacy Strategy	4.4 A Well Governed and Healthy Organisation	Informed by the Community Vision and Council Plan, develop a four-year Advocacy Plan.	June 2025
Revenue and Rating Plan	4.4 A Well Governed and Healthy Organisation	Review the Revenue and Rating Plan in accordance with the <i>Local Government Act 2020</i> and present to Council for adoption by 30 June 2025.	June 2025
Records Transformation Project	4.3 Continuous Service Improvement for Efficient and Flexible Services	Implementation of a new records management system.	June 2025

8.4.3 2024 LOCAL GOVERNMENT COMMUNITY SATISFACTION SURVEY RESULTS

Author's Title: Director Community Development

Department: Community Development

File No: GS/02/01

Relevance to Council Plan 2021 - 2025

Strategic Objective: Our Council and Community Leadership

PURPOSE

To note the results of the 2024 Local Government Community Satisfaction Survey.

SUMMARY

The 2024 Local Government Community Satisfaction Survey Report is attached for Council to note.

The report is coordinated on behalf of all Victorian councils by the Department Jobs Precincts and Regions.

RECOMMENDATION

That Council:

1. Notes the results of the 2024 Local Government Community Satisfaction Survey; and
2. Publishes the results of the survey to the community.

Attachments: 1 [2024 Community Satisfaction Survey](#)

DISCUSSION

The 2024 Local Government Community Satisfaction Survey is held annually and coordinated by the Department of Government Services on behalf of Victorian councils.

The survey provides an insight into the community's views on:

- councils' overall performance, with benchmarking against State-wide and council group results
- value for money in services and infrastructure
- community consultation and engagement
- decisions made in the interest of the community
- customer service, local infrastructure, facilities, services and
- overall council direction.

Buloke Shire Council's overall performance rating, as well as ratings on most individual service areas, stabilised over the past 12 months after having experienced significant declines in the previous two years. Recreational facilities is a notable exception; ratings increased significantly in this area from 2023, whereas ratings declined in the area of business and community development and tourism. Despite the stabilisation in ratings, one-third of residents feel overall the council direction deteriorated over the last 12 months.

The overall performance index score of 49 for Buloke is unchanged from the 2023 result, stemming significant declines experienced in each of the two years prior. This is in contrast to the Small Rural

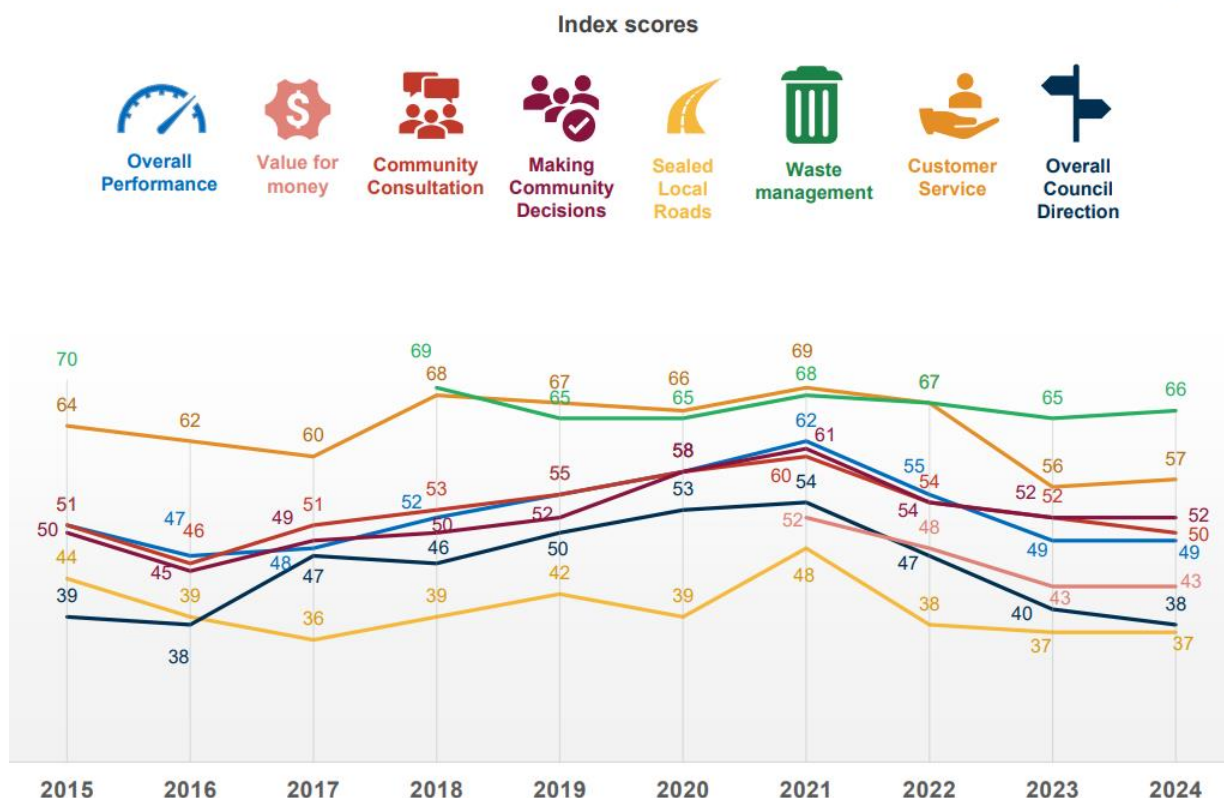
group and State-wide trend, where perceptions continue to decline. Council's overall performance remains lower than in 2021 when it peaked at 62 index points.

Council's overall performance is rated statistically significantly lower (at the 95% confidence interval) than the average ratings for councils in the Small Rural group and State-wide (index scores of 53 and 54 respectively).

Council's best performing areas were recreational facilities, waste management, appearance of public areas and emergency and disaster management. On the other hand, perceptions declined significantly in just one service area in 2024, business and community development and tourism. Council continues to rate lowest in the areas of the maintenance of unsealed roads (index score of 27) and sealed local roads (index score of 37).

A graphic representation of the summary of core measures, included in the survey report, is included below.

Summary of core measures



RELEVANT LAW

Not applicable.

RELATED COUNCIL DECISIONS

Not applicable.

OPTIONS

Not applicable.

SUSTAINABILITY IMPLICATIONS

Results of the survey may be used to inform decisions around sustainability.

COMMUNITY ENGAGEMENT

A telephone survey was conducted by JWS Research, who contacted random residents on behalf of Council, that were 18 years or above, residing in Buloke Shire. Council advertised the approaching survey in local newspaper advertisements, on radio spots and on social media in the weeks leading up to the survey which was conducted in February of this year.

The results of the survey will be communicated with the public.

INNOVATION AND CONTINUOUS IMPROVEMENT

In noting this report, Council may consider future actions against results of the survey.

Council also received a briefing from JWS Research to review and understand the data that the survey results revealed.

COLLABORATION

The Executive Management Team collaborated with the Department Jobs Precincts and Regions and JWS research in preparation of the survey.

FINANCIAL VIABILITY

The cost of conducting the survey was as per the budget allocation made in Council's Annual Budget 2023/24.

REGIONAL, STATE AND NATIONAL PLANS AND POLICIES

Local Government Act 2020

COUNCIL PLANS AND POLICIES

Not applicable.

TRANSPARENCY OF COUNCIL DECISIONS

Participation in the State-wide Local Government Community Satisfaction Survey is optional.

Participating Councils have various choices as to the content of the questionnaire and the sample size to be surveyed, depending on their individual strategic, financial, and other considerations.

CONFLICTS OF INTEREST

No staff member involved in the compilation of the report has a conflict of interest to declare.

2024 Local Government Community Satisfaction Survey

Buloke Shire Council

Coordinated by the Department of
Government Services on behalf of
Victorian councils





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<u>Waste management</u>	<u>78</u>		



Background and objectives

The Victorian Community Satisfaction Survey (CSS) creates a vital interface between the council and their community.

Held annually, the CSS asks the opinions of local people about the place they live, work and play and provides confidence for councils in their efforts and abilities.

Now in its twenty-fifth year, this survey provides insight into the community's views on:

- councils' overall performance, with benchmarking against State-wide and council group results
- value for money in services and infrastructure
- community consultation and engagement
- decisions made in the interest of the community
- customer service, local infrastructure, facilities, services and
- overall council direction.

When coupled with previous data, the survey provides a reliable historical source of the community's views since 1998. A selection of results from the last ten years shows that councils in Victoria continue to provide services that meet the public's expectations.

Serving Victoria for 25 years

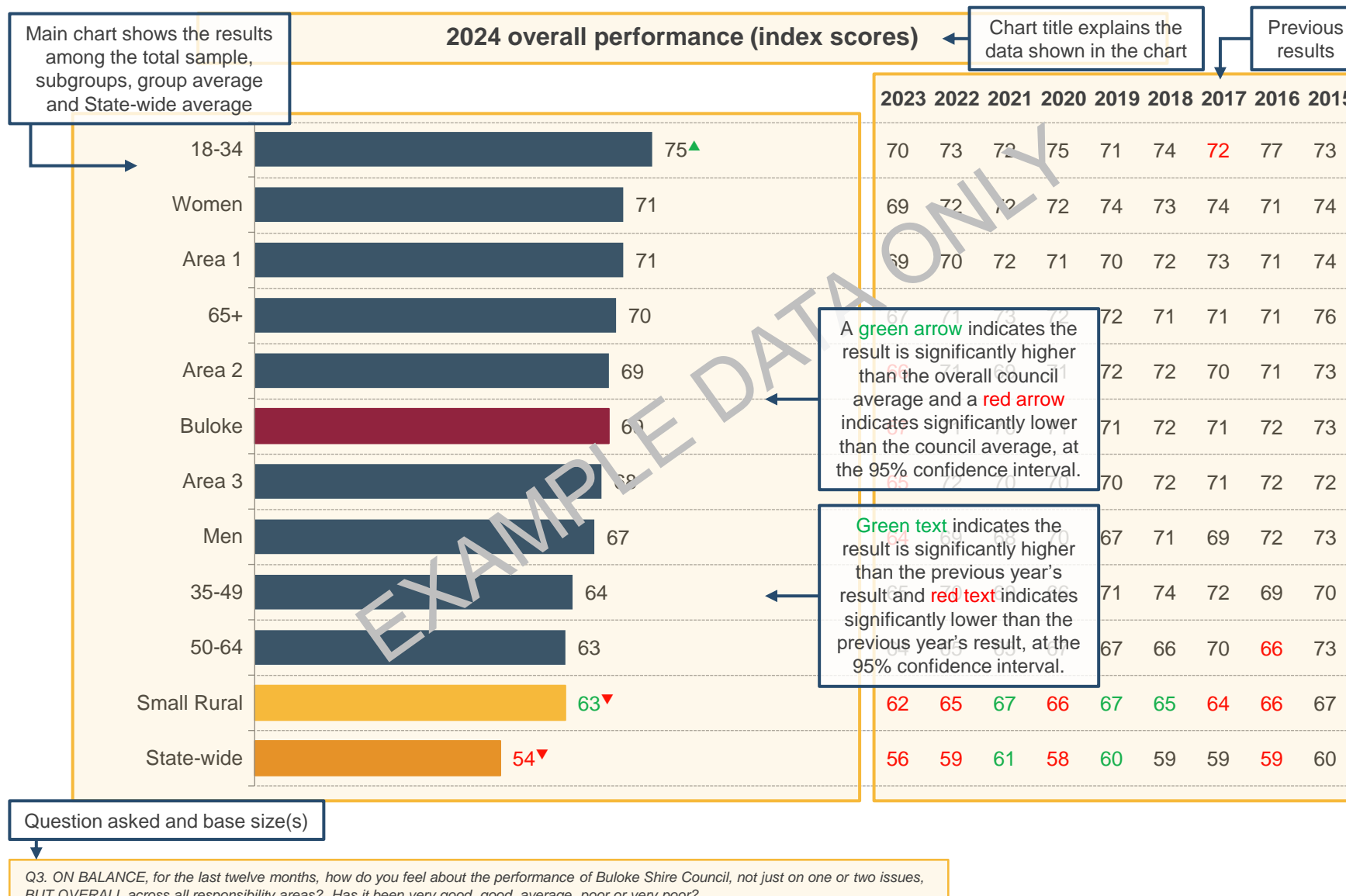
Each year the CSS data is used to develop this State-wide report which contains all of the aggregated results, analysis and data. Moreover, with 25 years of results, the CSS offers councils a long-term measure of how they are performing – essential for councils that work over the long term to provide valuable services and infrastructure to their communities.

Participation in the State-wide Local Government Community Satisfaction Survey is optional.

Participating councils have various choices as to the content of the questionnaire and the sample size to be surveyed, depending on their individual strategic, financial and other considerations.

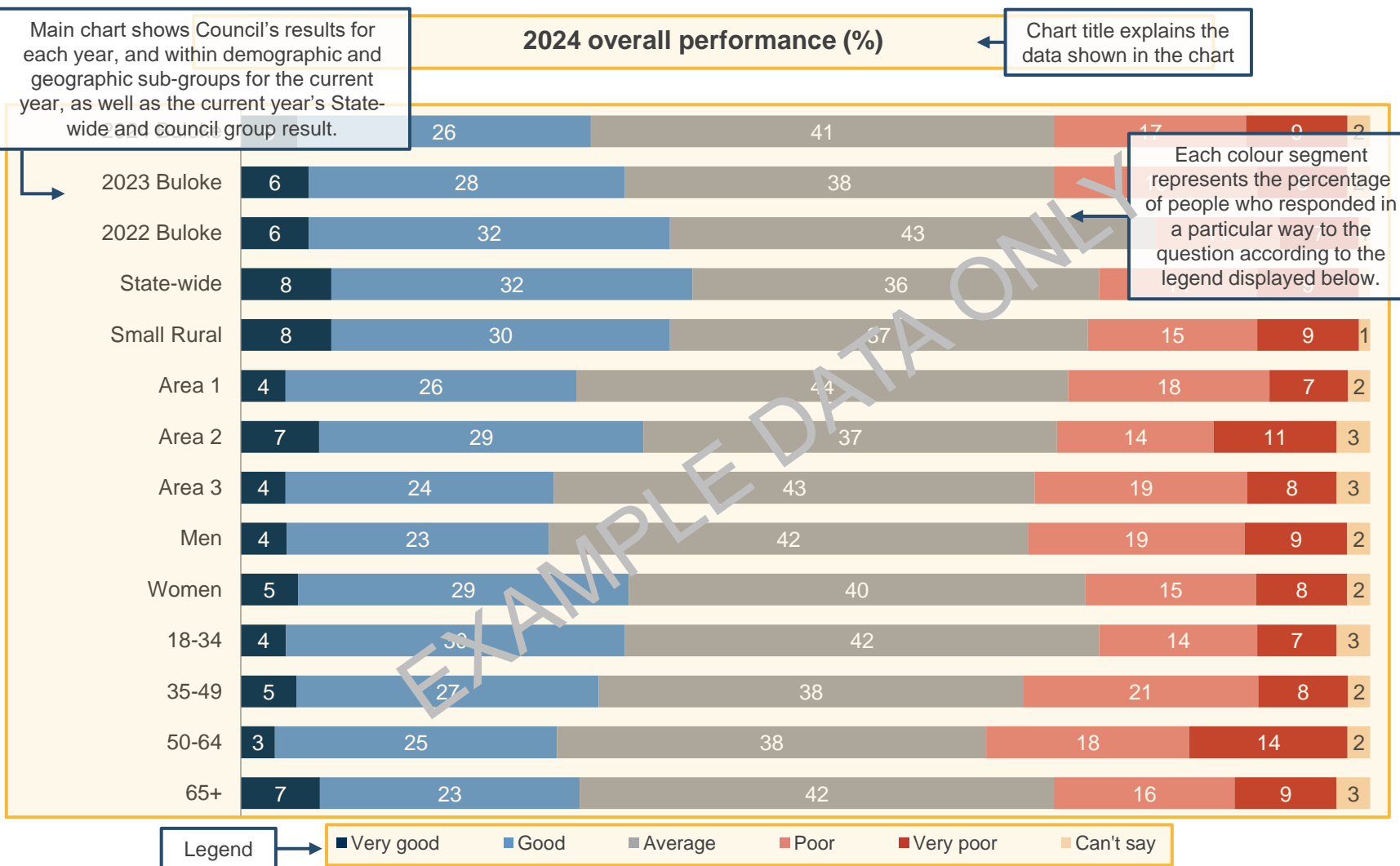


How to read index score charts in this report





How to read stacked bar charts in this report



Q3. ON BALANCE for the last twelve months, how do you feel about the performance of Buloke Shire Council, not just on one or two issues.



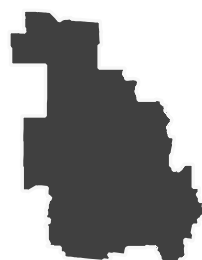
Key findings and recommendations



Buloke Shire Council – at a glance

Overall council performance

Results shown are index scores out of 100.



Buloke 49



Small Rural 53



State-wide 54

Council performance compared to group average

Top 4 performing areas

	Recreational facilities	▲ higher
	Waste management	▬ on par
	Appearance of public areas	▼ lower
	Emergency & disaster mngt	▬ on par

Bottom 3 performing areas

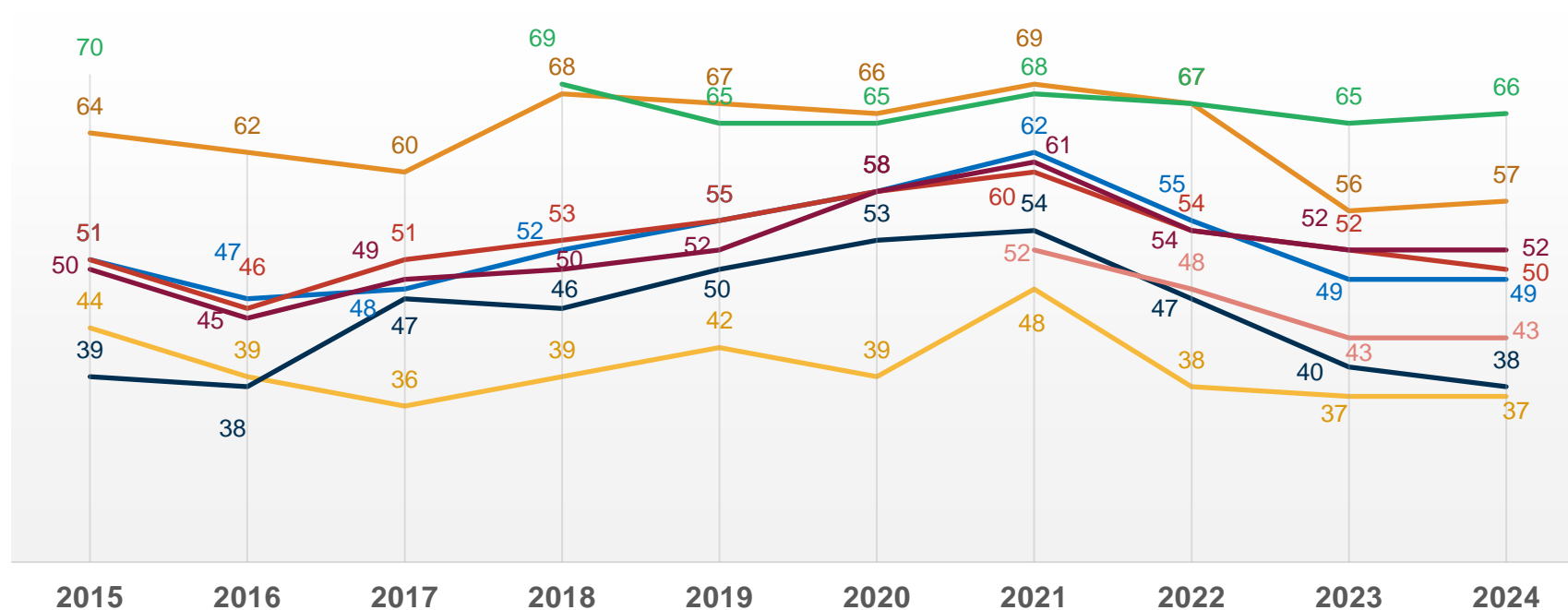
	Unsealed roads	▼ lower
	Sealed local roads	▼ lower
	Lobbying	▼ lower

	Customer service	▼ lower
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Summary of core measures

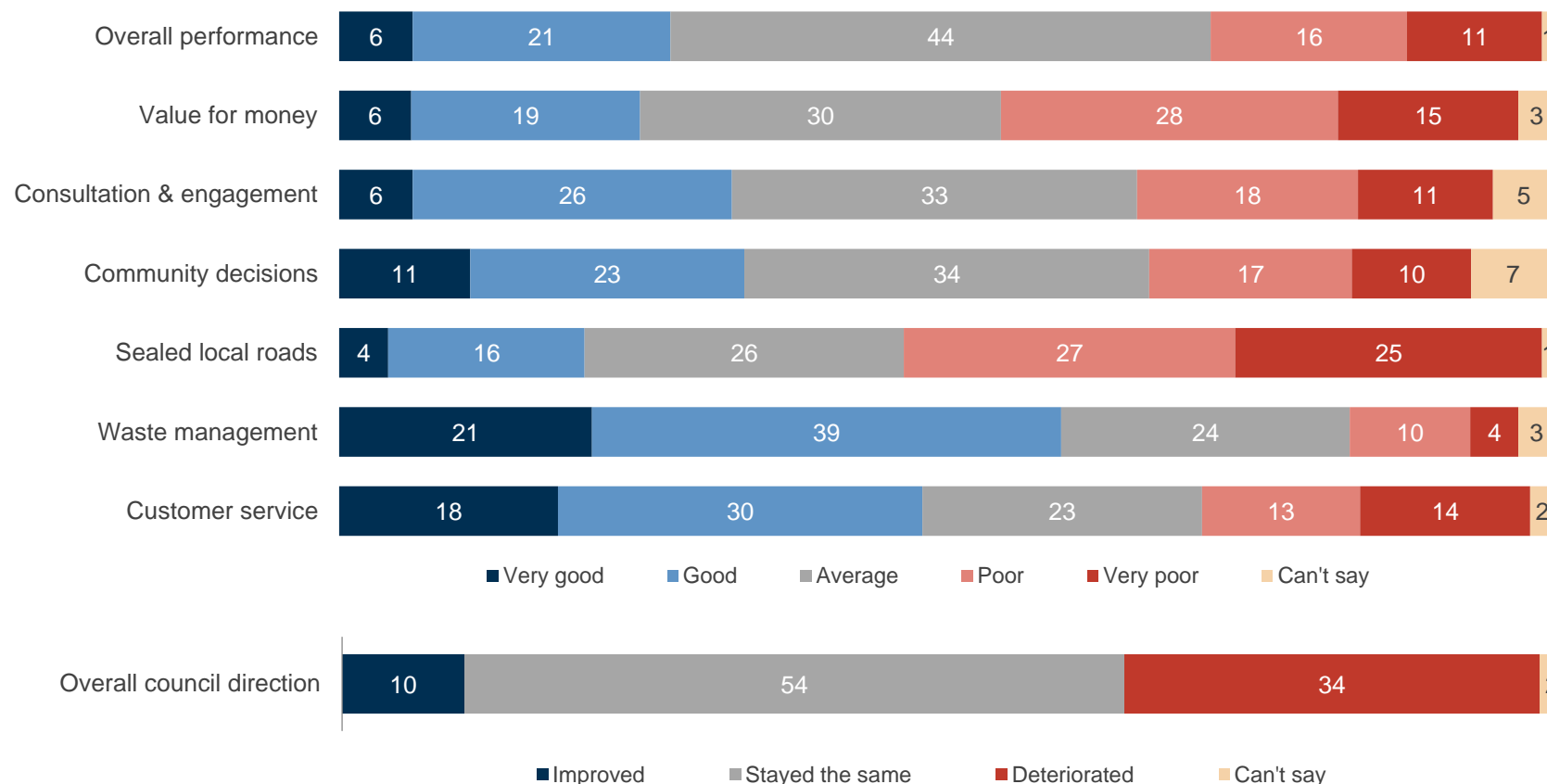
Index scores















Summary of core measures

Core measures summary results (%)














Summary of Buloke Shire Council performance

Services		Buloke 2024	Buloke 2023	Small Rural 2024	State-wide 2024	Highest score	Lowest score
	Overall performance	49	49	53	54	Sea Lake residents, 35-49 years	50-64 years
	Value for money	43	43	47	48	65+ years	50-64 years
	Overall council direction	38	40	44	45	Sea Lake residents	Charlton residents
	Customer service	57	56	66	67	Charlton residents	Donald residents
	Recreational facilities	72	68	67	68	Men, 65+ years, 18-49 years	Sea Lake residents
	Waste management	66	65	67	67	65+ years	50-64 years
	Appearance of public areas	65	64	71	68	Donald residents	Charlton residents
	Emergency & disaster mngt	65	64	66	65	Donald residents, Women	Charlton residents, 50-64 years, Men
	Enforcement of local laws	63	64	60	61	18-34 years	50-64 years, Sea Lake residents
	Art centres & libraries	59	-	73	73	Charlton residents	Donald residents



Summary of Buloke Shire Council performance

Services		Buloke 2024	Buloke 2023	Small Rural 2024	State-wide 2024	Highest score	Lowest score
	Bus/community dev./tourism	57	61	59	57	Sea Lake residents	Charlton residents
	Environmental sustainability	56	58	59	60	35-49 years	50-64 years
	Community decisions	52	52	50	50	35-49 years	Sea Lake residents
	Consultation & engagement	50	52	51	51	18-34 years	50-64 years
	Local streets & footpaths	48	44	51	52	35-49 years	Women, 50-64 years
	Planning & building permits	48	46	43	45	35-49 years	50-64 years
	Lobbying	47	49	50	50	65+ years	50-64 years
	Sealed local roads	37	37	41	45	Charlton residents	18-34 years
	Unsealed roads	27	30	35	36	Sea Lake residents	18-34 years



Focus areas for the next 12 months

Overview

Buloke Shire Council's overall performance rating, as well as ratings on most individual service areas, stabilised this past year after having experienced significant declines in the previous year or two. Recreational facilities comprises a notable exception; ratings increased significantly in this area from 2023, whereas ratings declined in the area of business and community development and tourism. Despite the stabilisation in ratings, one-third of residents feel overall council direction deteriorated over the last 12 months.

Key influences on perceptions of overall performance

Council should look to strengthen confidence among residents in the effectiveness of its decision-making, as perceptions of council decision-making have the strongest influence on overall performance. Council currently performs lower in this area, as well as in the related areas of consultation and engagement, and lobbying. The moderately influential areas of sealed and unsealed roads should also be prioritised for improvement as Council is performing poorly here.

Comparison to state and area grouping

Council's performance relative to Small Rural group and State-wide averages is mixed. Council performs significantly lower than both on around half of the measures evaluated, including overall performance and perceived value for the money. On a more positive note, Council performs significantly higher than group and State-wide averages in the areas of recreational facilities and planning and building permits. Council also performs significantly higher than the Small Rural group average for its enforcement of local laws.

A need to rebuild from previous declines

Council should also look to maintain and build upon its good work with regard to the appearance of its public areas. Improvements will have a moderate positive influence on overall impressions, and Council has performed higher here previously. Along these lines, Council should seek to abate further declines in the area of business and community development and tourism. In both areas particular attention should be given to Charlton, where ratings are below average (significantly so for the appearance of public areas).

DETAILED FINDINGS



Overall performance





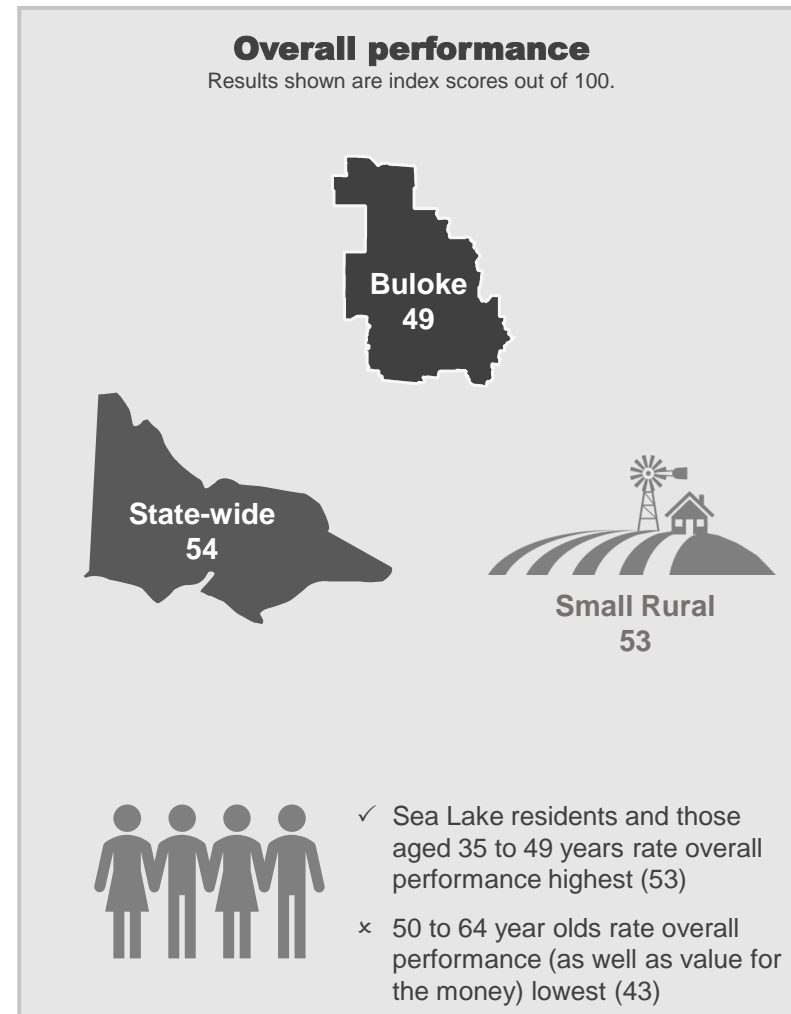
Overall performance

The overall performance index score of 49 for Buloke Shire Council is unchanged from the 2023 result, stemming significant declines experienced in each of the two years prior. This is in contrast to the Small Rural group and State-wide trend, where perceptions continue to decline. That said, Buloke Shire Council's overall performance remains lower than in 2021 when it peaked at 62 index points.

Notwithstanding this stabilisation, Buloke Shire Council's overall performance is rated statistically significantly lower (at the 95% confidence interval) than the average ratings for councils in the Small Rural group and State-wide (index scores of 53 and 54 respectively).

- Results stabilised in the past year across demographic and geographic sub-groups.
- Council's overall performance rating is slightly higher in Sea Lake (index score of 53) than in Charlton or Donald (index score of 48 each).

Perceptions of value for the money also stabilised in the past year though remain lower than in 2021. One-quarter of residents (25%) rate the value for money they receive in council infrastructure and services as 'very good' or 'good' compared to 43% who rate council value as 'very poor' or 'poor'.





Overall performance

2024 overall performance (index scores)

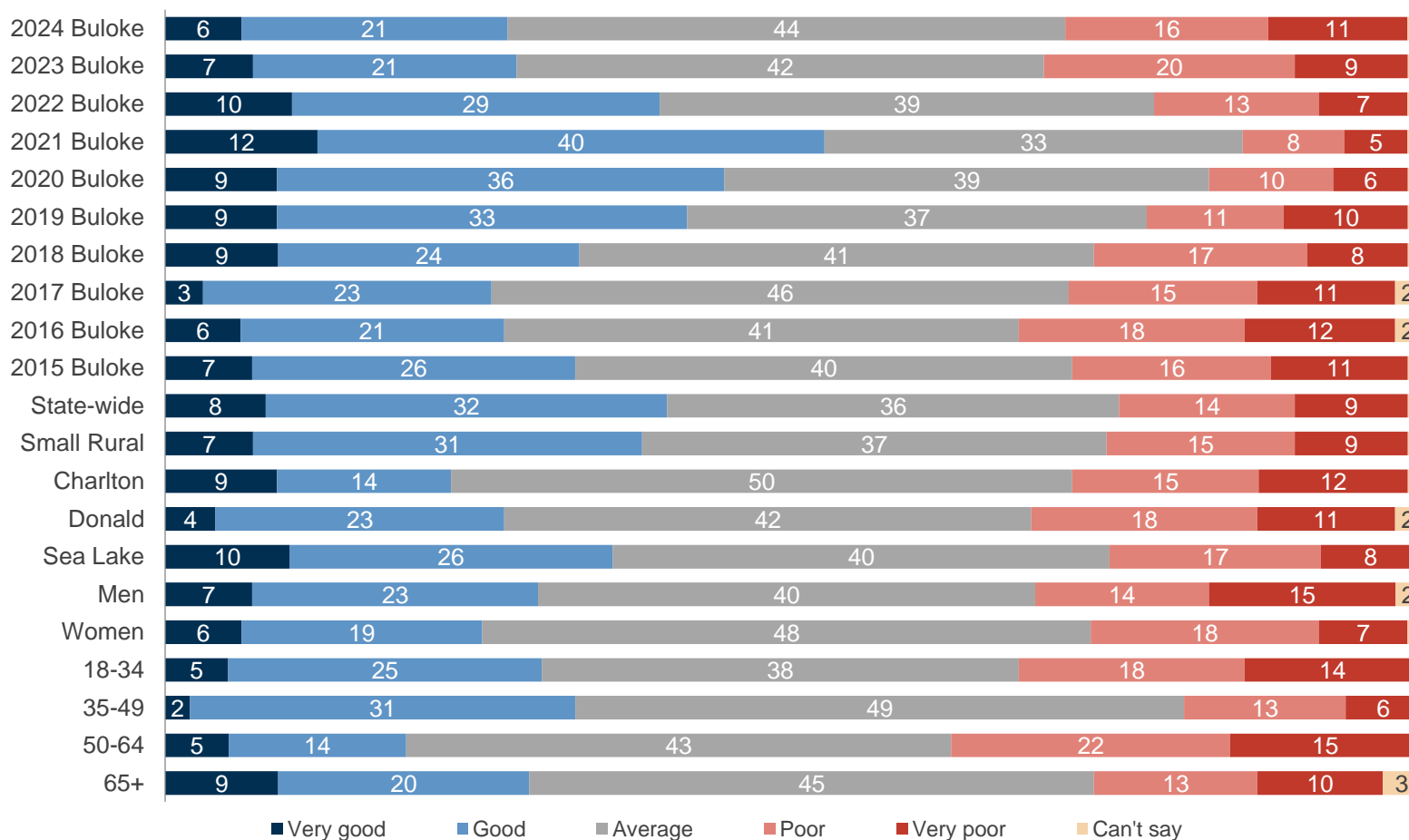
		2023	2022	2021	2020	2019	2018	2017	2016	2015
State-wide	54▲	56	59	61	58	60	59	59	59	60
Sea Lake	53	47	50	59	53	55	52	51	n/a	n/a
Small Rural	53▲	55	58	60	56	58	56	58	57	59
35-49	53	49	50	52	55	46	59	50	50	48
65+	51	53	60	66	63	62	55	51	51	56
Women	49	51	57	64	61	56	55	53	48	52
Buloke	49	49	55	62	58	55	52	48	47	51
Men	48	48	54	60	54	54	49	44	47	50
Charlton	48	50	58	67	60	57	51	46	n/a	n/a
Donald	48	47	53	58	57	54	48	48	n/a	n/a
18-34	47	45	57	69	58	57	55	49	47	56
50-64	43	45	51	55	51	50	42	44	41	44

Q3. ON BALANCE, for the last twelve months, how do you feel about the performance of Buloke Shire Council, not just on one or two issues, BUT OVERALL across all responsibility areas? Has it been very good, good, average, poor or very poor?



Overall performance

2024 overall performance (%)





Value for money in services and infrastructure

2024 value for money (index scores)

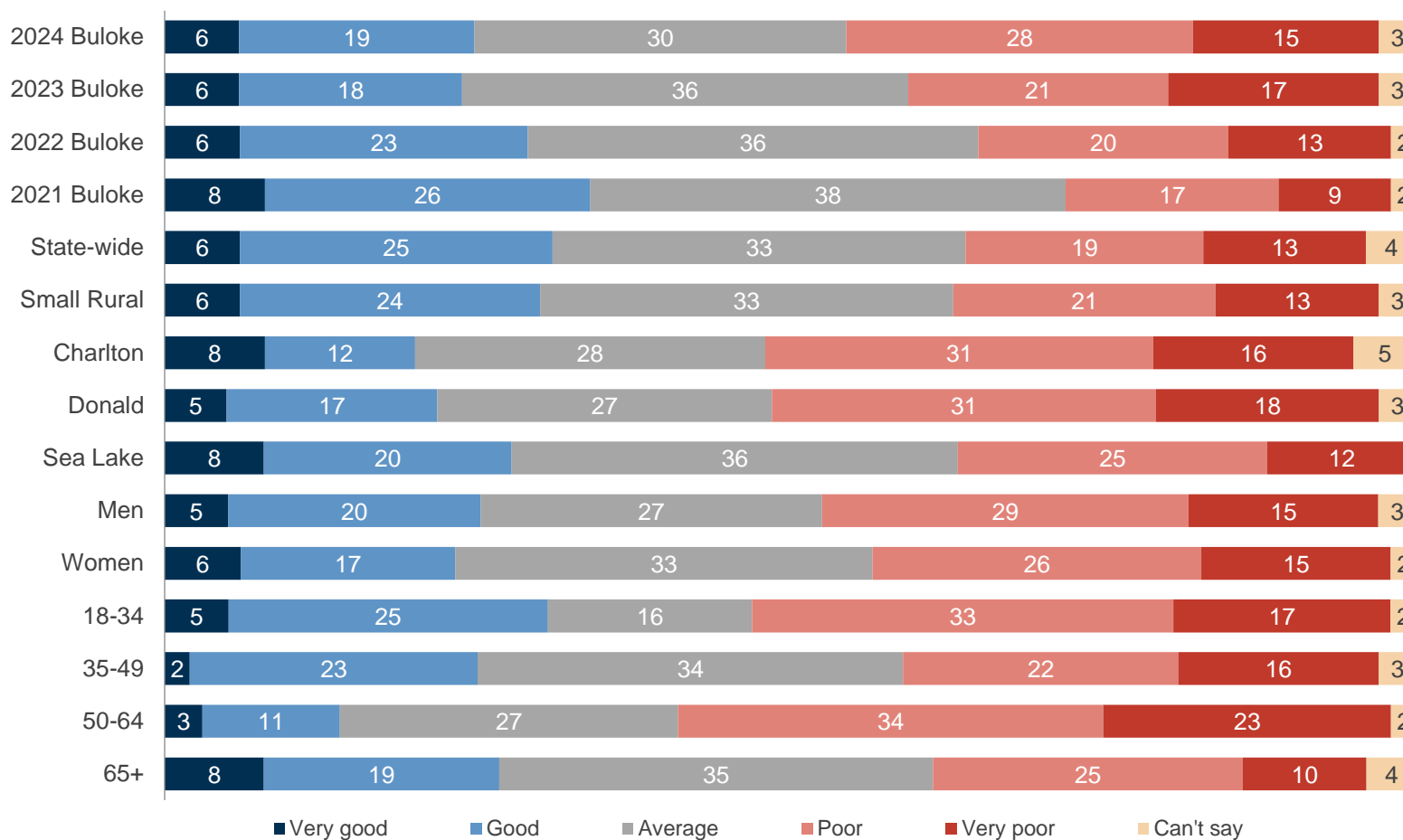
		2023	2022	2021	2020	2019	2018	2017	2016	2015
State-wide	48▲	49	53	54	n/a	n/a	n/a	n/a	n/a	n/a
65+	48▲	50	54	60	n/a	n/a	n/a	n/a	n/a	n/a
Small Rural	47▲	49	51	52	n/a	n/a	n/a	n/a	n/a	n/a
Sea Lake	47	42	37	54	n/a	n/a	n/a	n/a	n/a	n/a
35-49	43	39	41	41	n/a	n/a	n/a	n/a	n/a	n/a
Women	43	45	52	55	n/a	n/a	n/a	n/a	n/a	n/a
Buloke	43	43	48	52	n/a	n/a	n/a	n/a	n/a	n/a
Men	43	42	43	50	n/a	n/a	n/a	n/a	n/a	n/a
18-34	42	40	52	54	n/a	n/a	n/a	n/a	n/a	n/a
Charlton	40	42	53	56	n/a	n/a	n/a	n/a	n/a	n/a
Donald	39	41	44	48	n/a	n/a	n/a	n/a	n/a	n/a
50-64	34▼	37	41	44	n/a	n/a	n/a	n/a	n/a	n/a

Q3b. How would you rate Buloke Shire Council at providing good value for money in infrastructure and services provided to your community?



Value for money in services and infrastructure

2024 value for money (%)





Top performing service areas

Council performs best in the area of recreational facilities (index score of 72) this year, increasing by a significant four index points from 2023. This is the only area where Council experienced a significant increase in perceptions in the past year.

Council performs significantly higher than both the State-wide and Small Rural group averages on this service area (index scores of 68 and 67 respectively).

- Impressions increased most among residents aged 35 to 49 years (index score of 73, up 14 points from 2023.) Men also increased significantly in their impressions (index score of 73, up five index points), though not to the same extent as residents aged 35 to 49 years.

Waste management is Council's next highest rated service area (index score of 66), followed by the appearance of public areas and emergency and disaster management (index scores of 65 each). Scores in all three areas are consistent with 2023 ratings.

- Council performs in line with the Small Rural group and State-wide group averages for waste management.
- Charlton residents rate Council lower for waste management than residents of other areas but not significantly lower than the average.



Recreational facilities (index score of 72) is the area where Council performed best in 2024, improving by a significant four index points from 2023.



Low performing service areas



Council rates lowest in the areas of unsealed roads (index score of 27) and sealed local roads (index score of 37).

Perceptions declined significantly in just one service area in 2024 – business and community development and tourism (index score of 57, down four points from 2023). The average rating for the Small Rural group similarly declined in the past year.

- The decline was driven in large part by significantly declining impressions among residents of Charlton (index score of 51) who rate Council nine index points lower for community development than in 2023. Perceptions of this service area also declined significantly among women this year (index score of 58, down five index points).

Council rates lowest in the areas of the maintenance of unsealed roads (index score of 27) and sealed local roads (index score of 37).

- Running counter to ratings in other service areas, Charlton residents rate the condition of sealed local roads significantly higher than the average (index score of 45).
- One-third of residents (33%) volunteer sealed road maintenance as the Council area most in need of improvement.

All of these aforementioned service areas have a moderate to strong influence on overall perceptions of Council performance and so should remain a priority for attention.



Individual service area performance

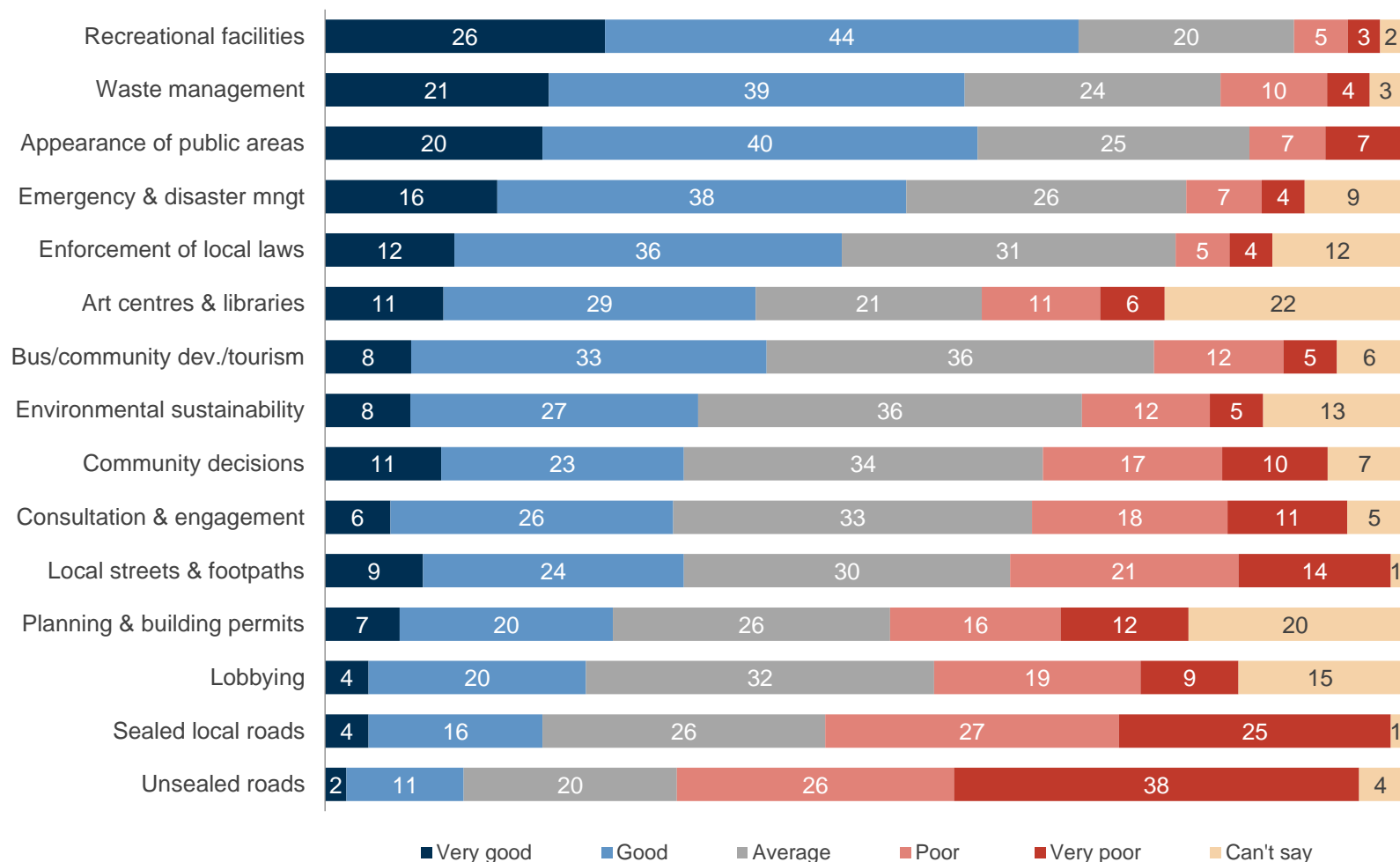
2024 individual service area performance (index scores)

		2023	2022	2021	2020	2019	2018	2017	2016	2015
Recreational facilities	72	68	71	74	74	69	67	n/a	n/a	63
Waste management	66	65	67	68	65	65	69	n/a	n/a	70
Appearance of public areas	65	64	71	75	71	68	67	n/a	n/a	71
Emergency & disaster mngt	65	64	n/a	n/a	n/a	n/a	n/a	n/a	n/a	66
Enforcement of local laws	63	64	62	65	62	61	58	n/a	n/a	63
Art centres & libraries	59	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	59
Bus/community dev./tourism	57	61	62	64	62	56	54	n/a	n/a	56
Environmental sustainability	56	58	58	63	59	57	58	n/a	n/a	n/a
Community decisions	52	52	54	61	58	52	50	49	45	50
Consultation & engagement	50	52	54	60	58	55	53	51	46	51
Local streets & footpaths	48	44	n/a	n/a	n/a	n/a	n/a	n/a	n/a	56
Planning & building permits	48	46	n/a	n/a	n/a	n/a	n/a	n/a	n/a	52
Lobbying	47	49	53	58	54	52	52	49	48	50
Sealed local roads	37	37	38	48	39	42	39	36	39	44
Unsealed roads	27	30	31	38	35	37	35	n/a	n/a	40



Individual service area performance

2024 individual service area performance (%)





Individual service area importance

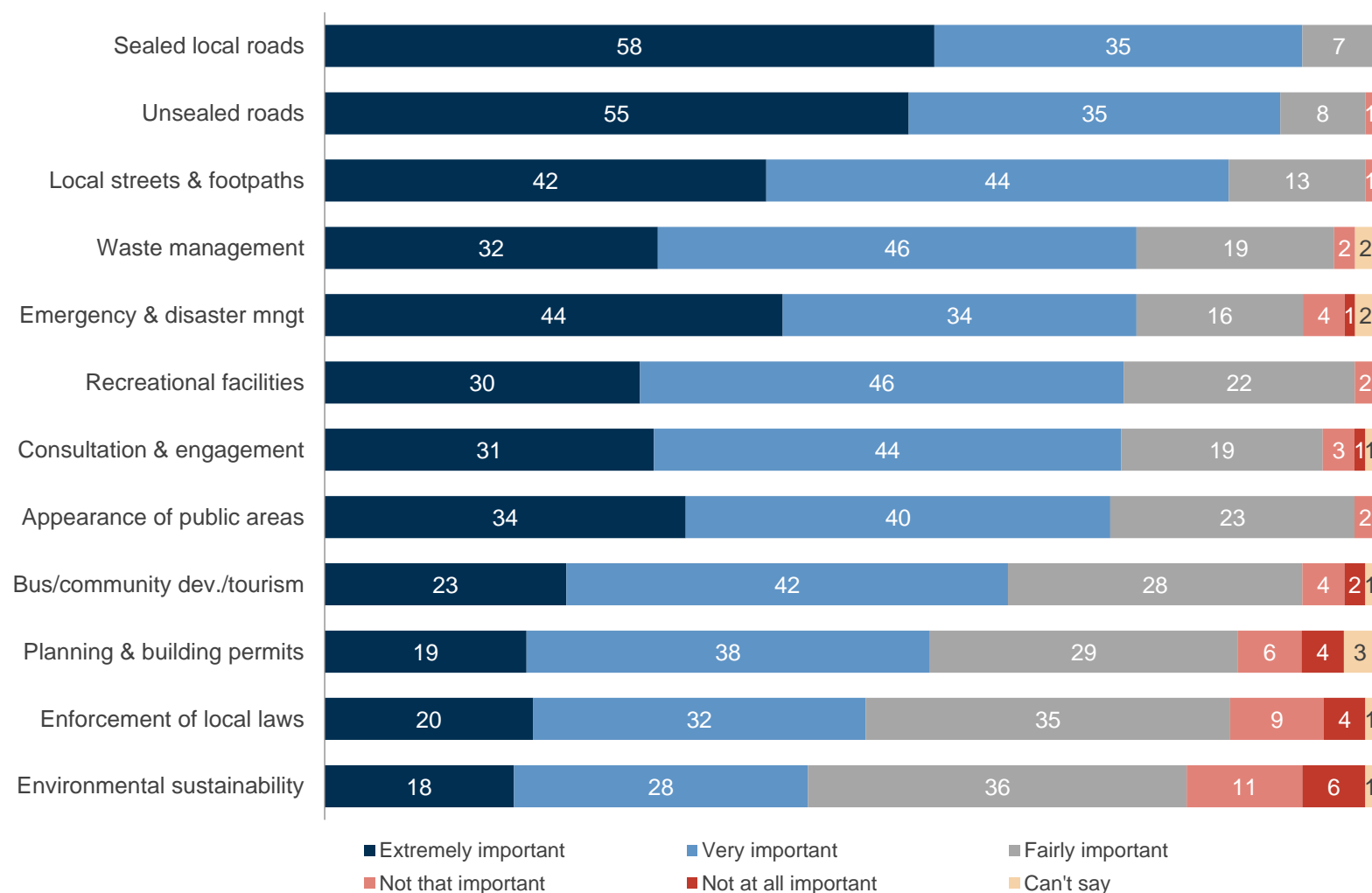
2024 individual service area importance (index scores)

		2023	2022	2021	2020	2019	2018	2017	2016	2015
Sealed local roads	88	85	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Unsealed roads	86	85	86	86	84	82	85	n/a	n/a	81
Local streets & footpaths	82	82	n/a	n/a	n/a	n/a	n/a	n/a	n/a	79
Emergency & disaster mngt	80	78	n/a	n/a	n/a	n/a	n/a	n/a	n/a	79
Waste management	77	78	79	80	80	77	78	n/a	n/a	76
Appearance of public areas	76	77	75	76	76	75	74	n/a	n/a	74
Recreational facilities	76	76	76	76	76	74	77	n/a	n/a	75
Consultation & engagement	76	76	n/a	n/a	n/a	n/a	n/a	n/a	n/a	74
Bus/community dev./tourism	70	73	73	76	73	72	76	n/a	n/a	72
Planning & building permits	66	67	n/a	n/a	n/a	n/a	n/a	n/a	n/a	64
Enforcement of local laws	64	65	64	66	66	66	64	n/a	n/a	69
Environmental sustainability	61	63	66	67	67	65	65	n/a	n/a	n/a



Individual service area importance

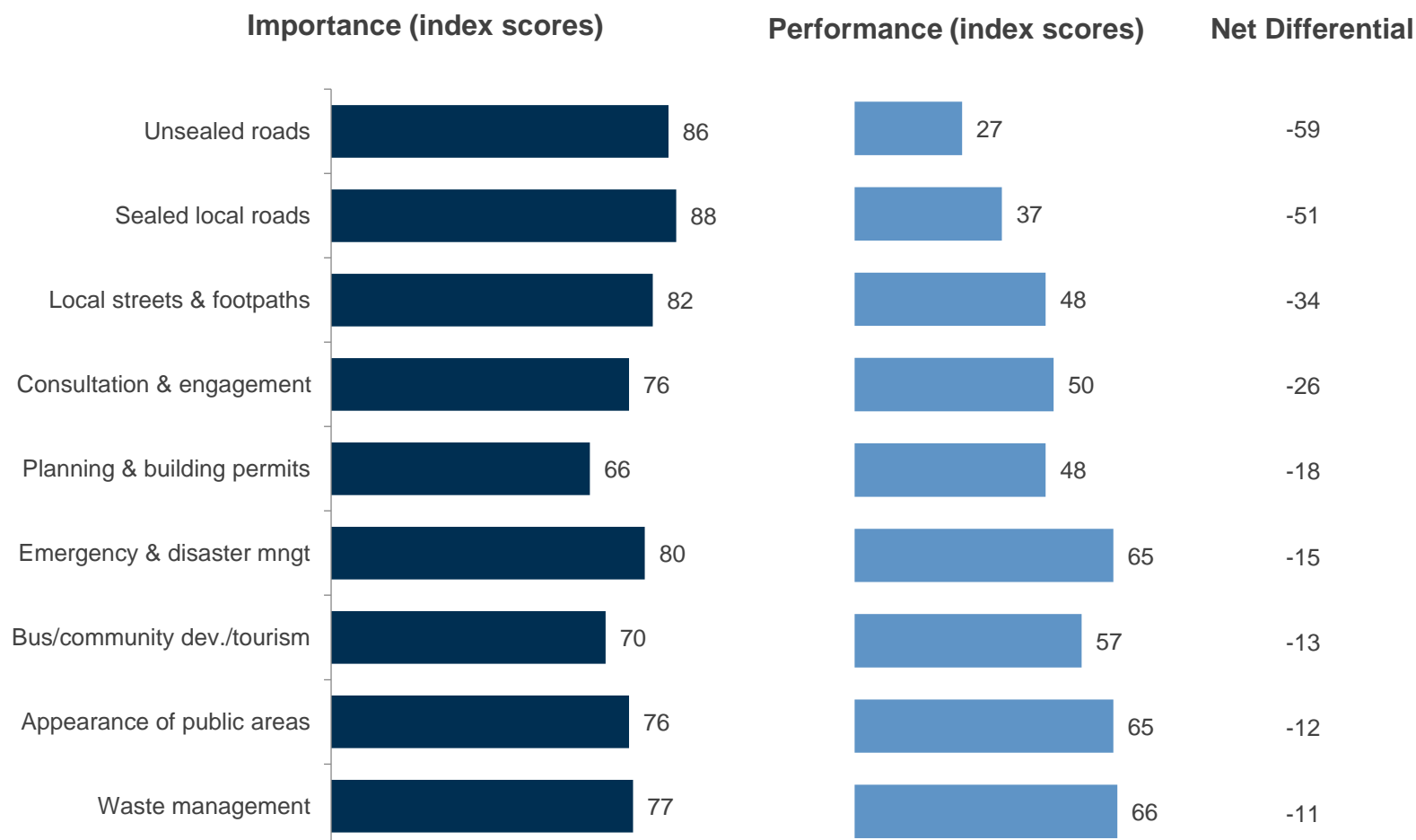
2024 individual service area importance (%)





Individual service areas importance vs performance

Service areas where importance exceeds performance by 10 points or more, suggesting further investigation is necessary.





Influences on perceptions of overall performance

The individual service area that has the strongest influence on the overall performance rating (based on regression analysis) is:

- Decisions made in the interest of the community.

Good communication and transparency with residents about decisions Council has made in the community's interest provides the greatest opportunity to drive up overall opinion of Council performance.

Following on from that, other individual service areas with a moderate to strong influence on the overall performance rating are:

- The maintenance of unsealed roads
- Business, community development and tourism
- The appearance of public areas
- The condition of sealed local roads
- Community consultation and engagement
- Lobbying on behalf of the community.

Looking at these key service areas only, the appearance of public areas is Council's best performing area (index score of 65) and is among the stronger influences on its overall performance rating.

Maintaining this positive result should remain a focus – but there is greater work to be done elsewhere.

Service areas that have a more moderate influence on overall perceptions, but where Council performs less well, are lobbying and community consultation (index scores of 47 and 50 respectively).

A focus on consulting residents about key local issues and demonstrating Council efforts to lobby on their behalf can also help to shore up positive overall ratings of performance.

However, most in need of attention is Council's poor performance on unsealed and sealed roads (index scores of 27 and 37 respectively), particularly its maintenance of unsealed roads which is a strong influence on overall ratings of Council.

Attending to resident concerns about the condition of local roads can also help improve overall perceptions of Council.



Regression analysis explained

We use regression analysis to investigate which individual service areas, such as community consultation, condition of sealed local roads, etc. (the independent variables) are influencing respondent perceptions of overall council performance (the dependent variable).

In the charts that follow:

- The horizontal axis represents Council's performance index score for each individual service. Service areas appearing on the right side of the chart have a higher index score than those on the left.
- The vertical axis represents the Standardised Beta Coefficient from the multiple regression performed. This measures the contribution of each service area to the model. Service areas near the top of the chart have a greater positive effect on overall performance ratings than service areas located closer to the axis.

The regressions are shown on the following two charts.

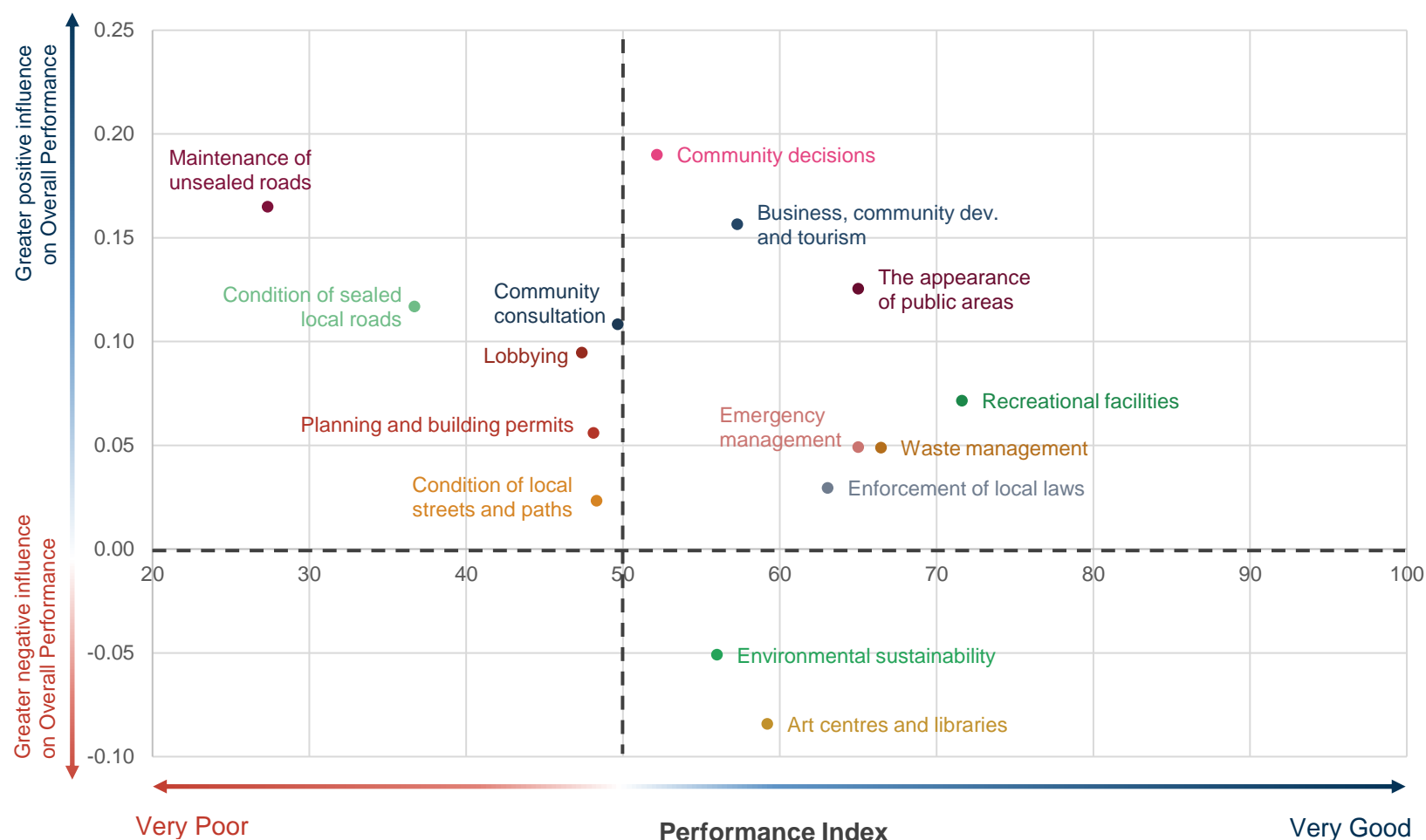
1. **The first chart** shows the results of a regression analysis of *all* individual service areas selected by Council.
2. **The second chart** shows the results of a regression performed on a smaller set of service areas, being those with a moderate-to-strong influence on overall performance. Service areas with a weak influence on overall performance (i.e. a low Standardised Beta Coefficient) have been excluded from the analysis.

Key insights from this analysis are derived from the second chart.



Influence on overall performance: all service areas

2024 regression analysis (all service areas)

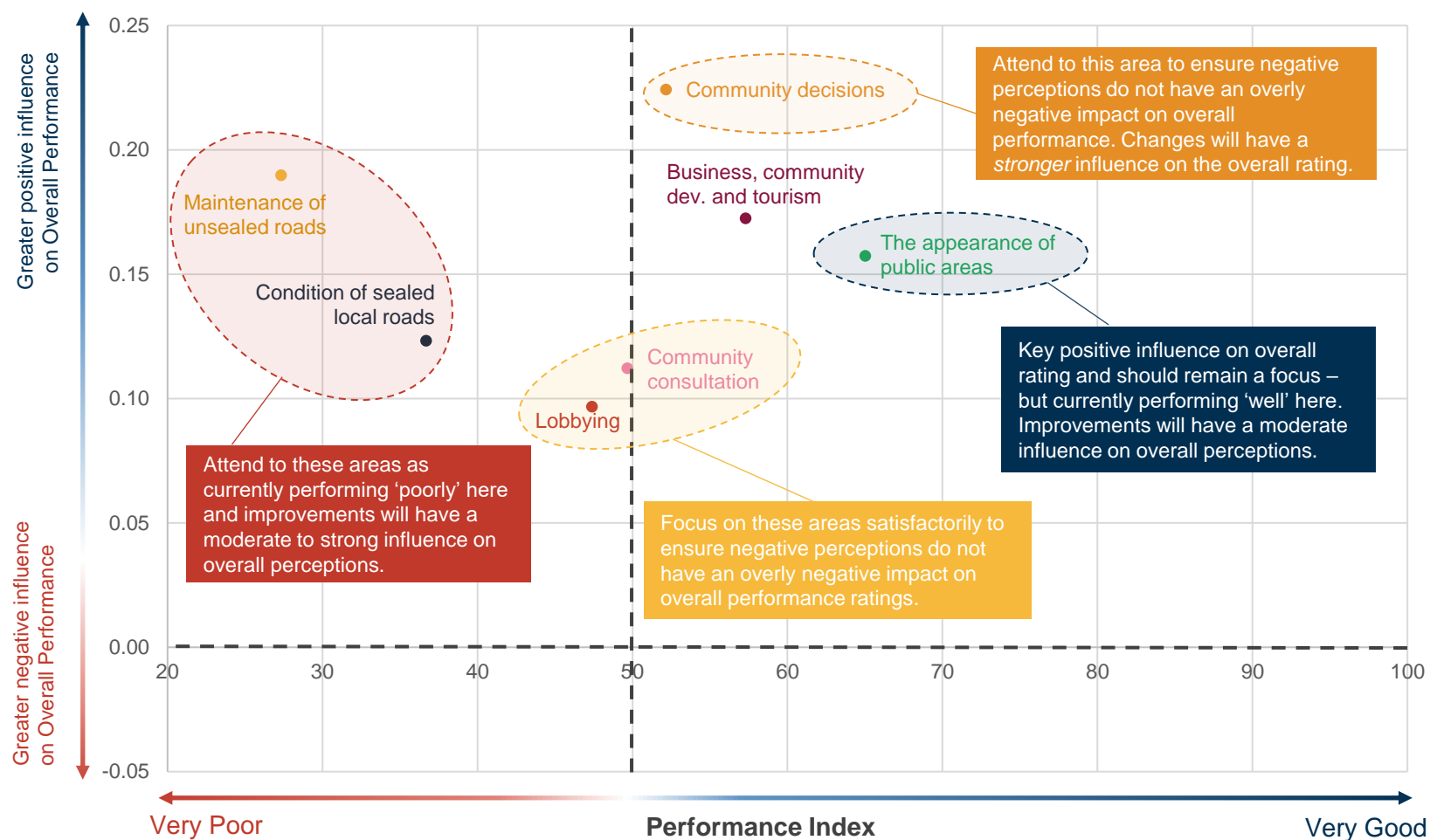


The multiple regression analysis model above (all service areas) has an R^2 value of 0.581 and adjusted R^2 value of 0.565, which means that 57% of the variance in community perceptions of overall performance can be predicted from these variables. The overall model effect was



Influence on overall performance: key service areas

2024 regression analysis (key service areas)



The multiple regression analysis model above (reduced set of service areas) has an R^2 value of 0.565 and adjusted R^2 value of 0.557 which



Best things about Council and areas for improvement

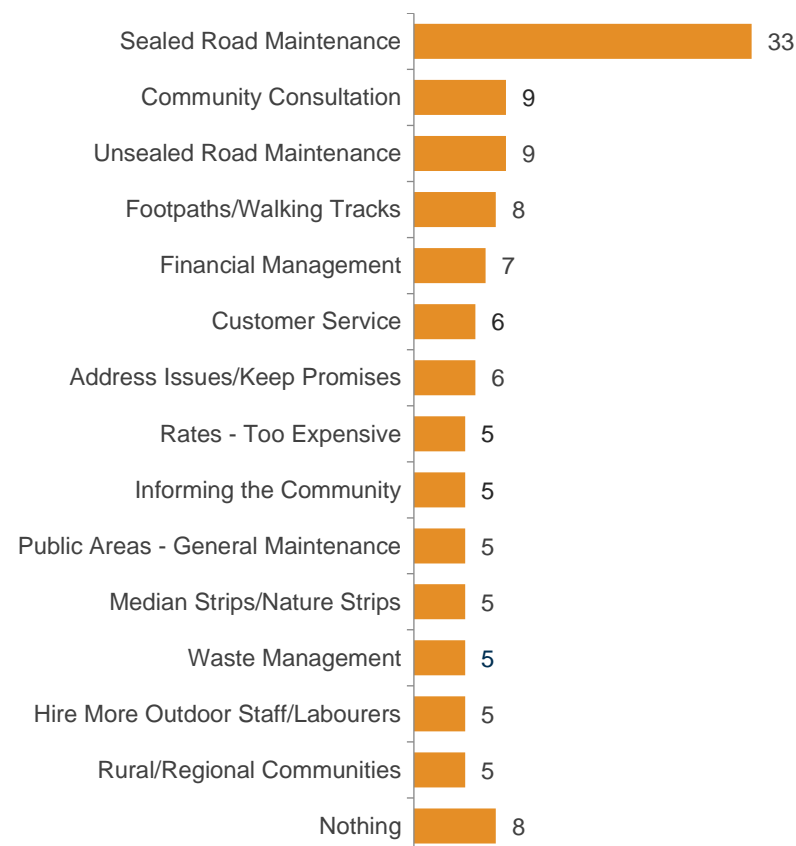
2024 best things about Council (%)

- Top mentions only -



2024 areas for improvement (%)

- Top mentions only -



Q16. Please tell me what is the ONE BEST thing about Buloke Shire Council? It could be about any of the issues or services we have covered in this survey or it could be about something else altogether?

Base: All respondents. Councils asked State-wide: 31 Councils asked group: 8

Q17. What does Buloke Shire Council MOST need to do to improve its performance?

Customer service





Contact with council and customer service

Contact with council

Close to seven in ten residents (68%) had contact with Council in the previous 12 months. Rate of contact has been relatively stable over time.

- Four in five residents aged 35 to 49 years (80%) had contact with Council.
- Residents of Sea Lake and those aged 65 years and over (58% each) were least likely to have contacted Council this past year.



Customer service

Council's customer service index of 57 is not significantly different from 2023. That said, Council's customer service rating remains significantly lower than higher levels achieved and maintained between 2018 and 2022. Customer service is rated significantly lower than the State-wide and Small Rural group averages (index scores of 67 and 66 respectively).

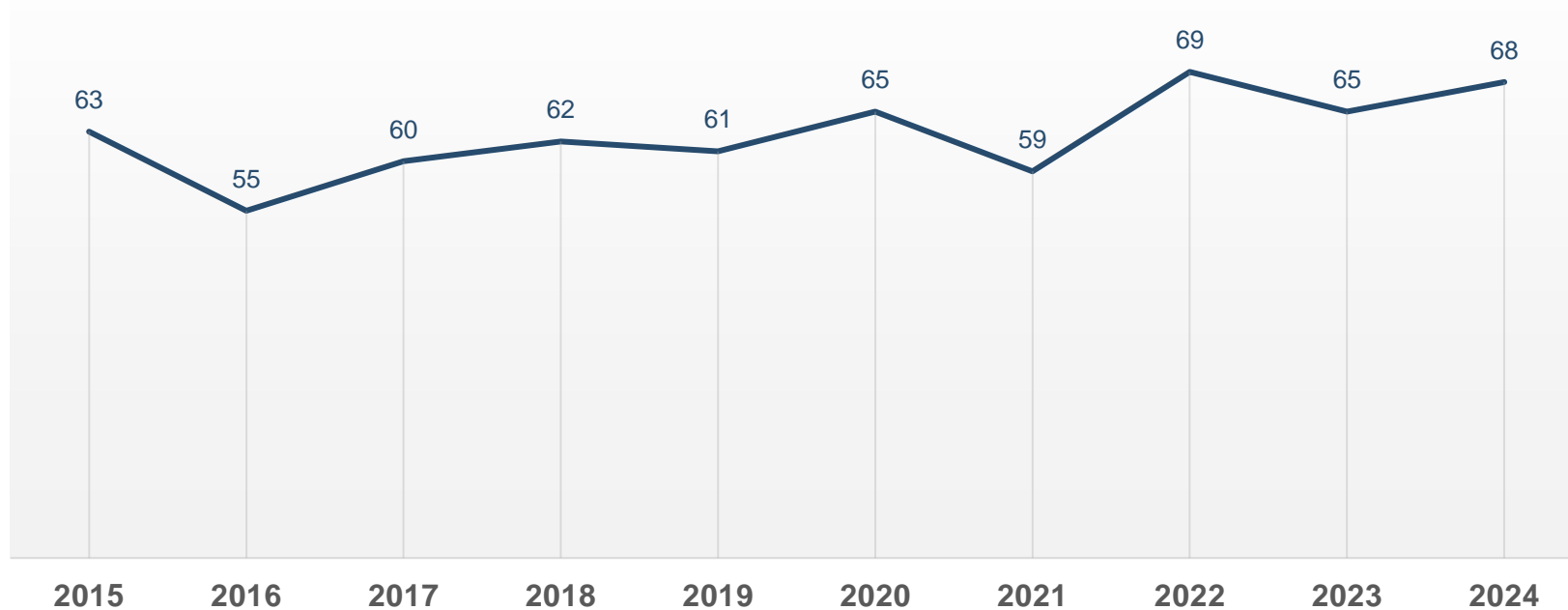
Fewer than half of residents who had contact with Council (48%) provide a positive customer service rating of 'very good' or 'good'. One-quarter (27%) provide a negative rating of 'very poor' or 'poor'. Another 23% rate customer service experiences as average.

Ratings remain lower than previously-achieved higher levels across geographic regions of Council. Nonetheless, Sea Lake residents (based on a small sample size) and Donald residents are more likely to have had negative customer service experiences (32% rating of 'very poor' or 'poor' in each area) than residents of Charlton (19%).



Contact with council

2024 contact with council (%)
Have had contact

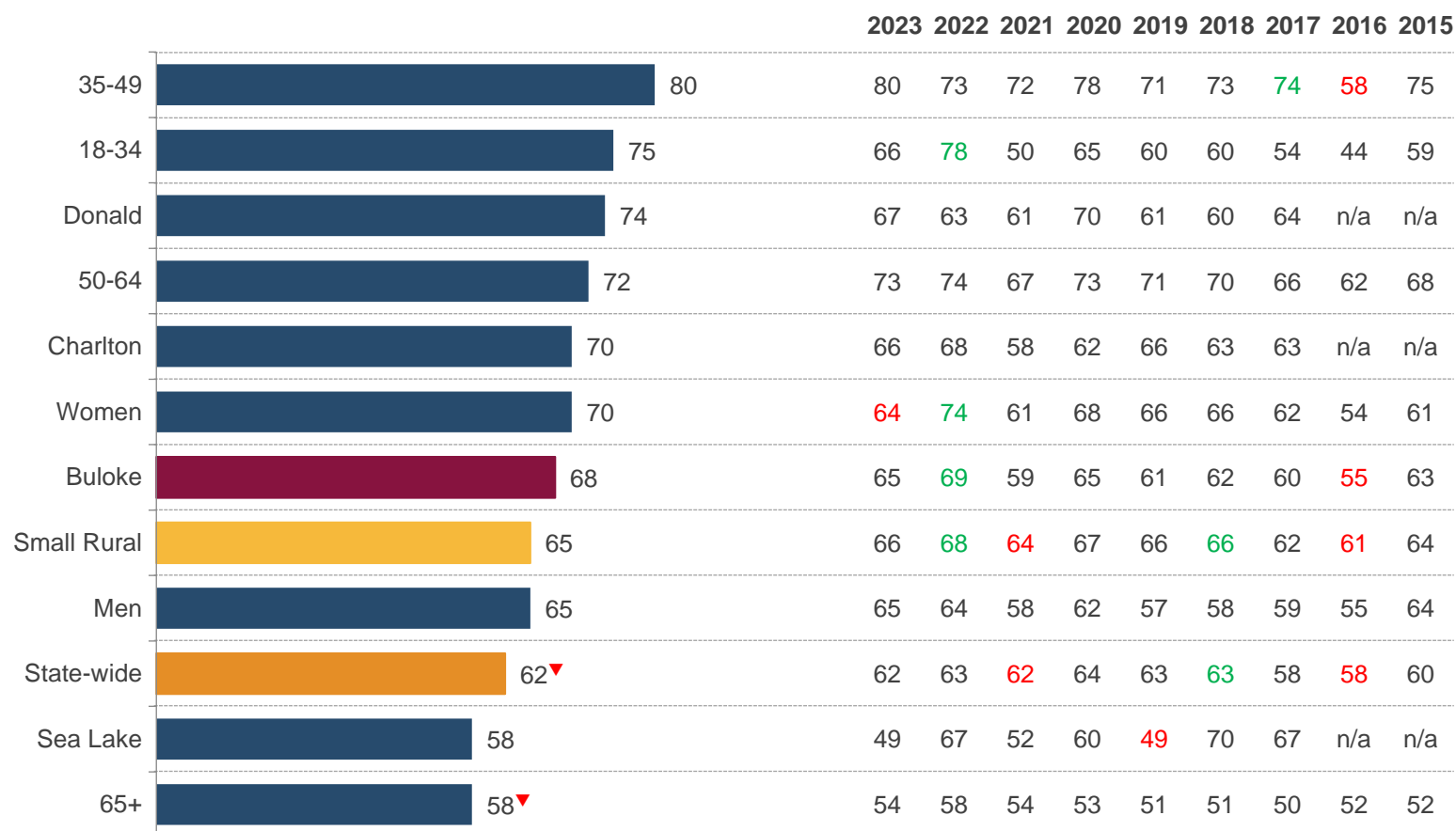


Q5. Over the last 12 months, have you or any member of your household had any contact with Buloke Shire Council?
This may have been in person in writing by telephone conversation by text message by email or via their website or



Contact with council

2024 contact with council (%)



Q5. Over the last 12 months, have you or any member of your household had any contact with Buloke Shire Council? This may have been in person, in writing, by telephone conversation, by text message, by email or via their website or social media such as Facebook or Twitter?



Customer service rating

2024 customer service rating (index scores)

		2023	2022	2021	2020	2019	2018	2017	2016	2015
State-wide	67▲	67	68	70	70	71	70	69	69	70
Small Rural	66▲	65	67	69	70	70	69	69	69	70
Charlton	62	55	62	77	71	72	73	62	n/a	n/a
Women	60	57	65	73	69	72	72	65	62	70
35-49	59	60	65	63	65	57	77	59	58	66
65+	58	55	68	72	66	78	70	58	67	67
18-34	57	54	70	81	77	73	72	63	60	68
Buloke	57	56	67	69	66	67	68	60	62	64
Sea Lake	56*	60	70	64	76	68	73	60	n/a	n/a
Men	54	55	69	65	62	63	64	53	61	58
50-64	52	57	65	63	60	62	57	61	60	57
Donald	51	49	67	66	63	60	63	61	n/a	n/a

Q5c. Thinking of the most recent contact, how would you rate Buloke Shire Council for customer service? Please keep in mind we do not mean the actual outcome but rather the actual service that was received.

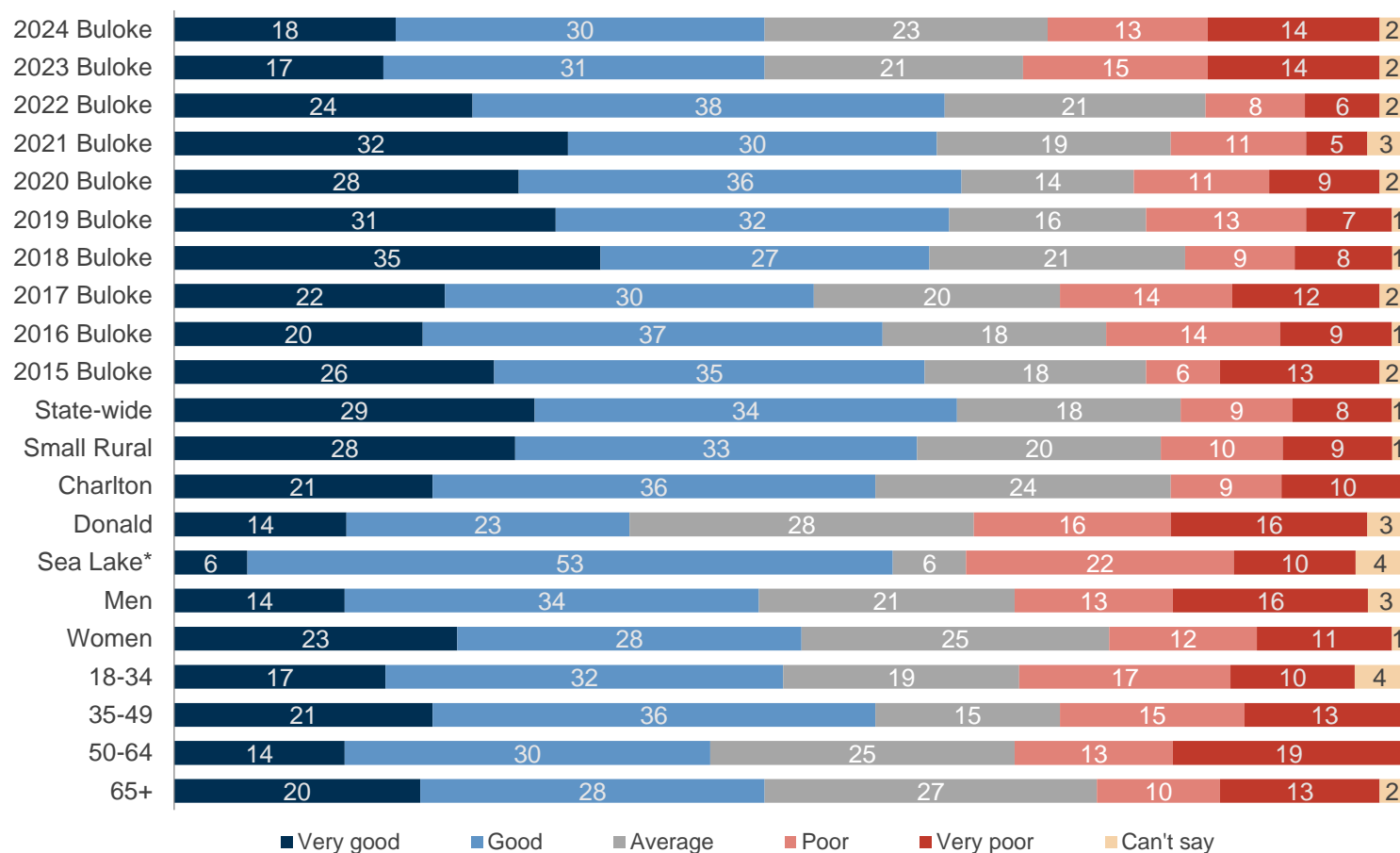
Base: All respondents who have had contact with Council in the last 12 months.

Councils asked State-wide: 62 Councils asked group: 19



Customer service rating

2024 customer service rating (%)



Q5c. Thinking of the most recent contact, how would you rate Buloke Shire Council for customer service?
Please keep in mind we do not mean the actual outcome but rather the actual service that was received.
Base: All respondents who have had contact with Council in the last 12 months.



Communication



Communication

Council newsletters sent via mail (27%), advertising in a local newspaper (19%), and Council newsletters sent via email (16%) remain the preferred sources of information about Council news and information and upcoming events. Social media updates follow closely at 12%, but interest in social media is generationally-driven.

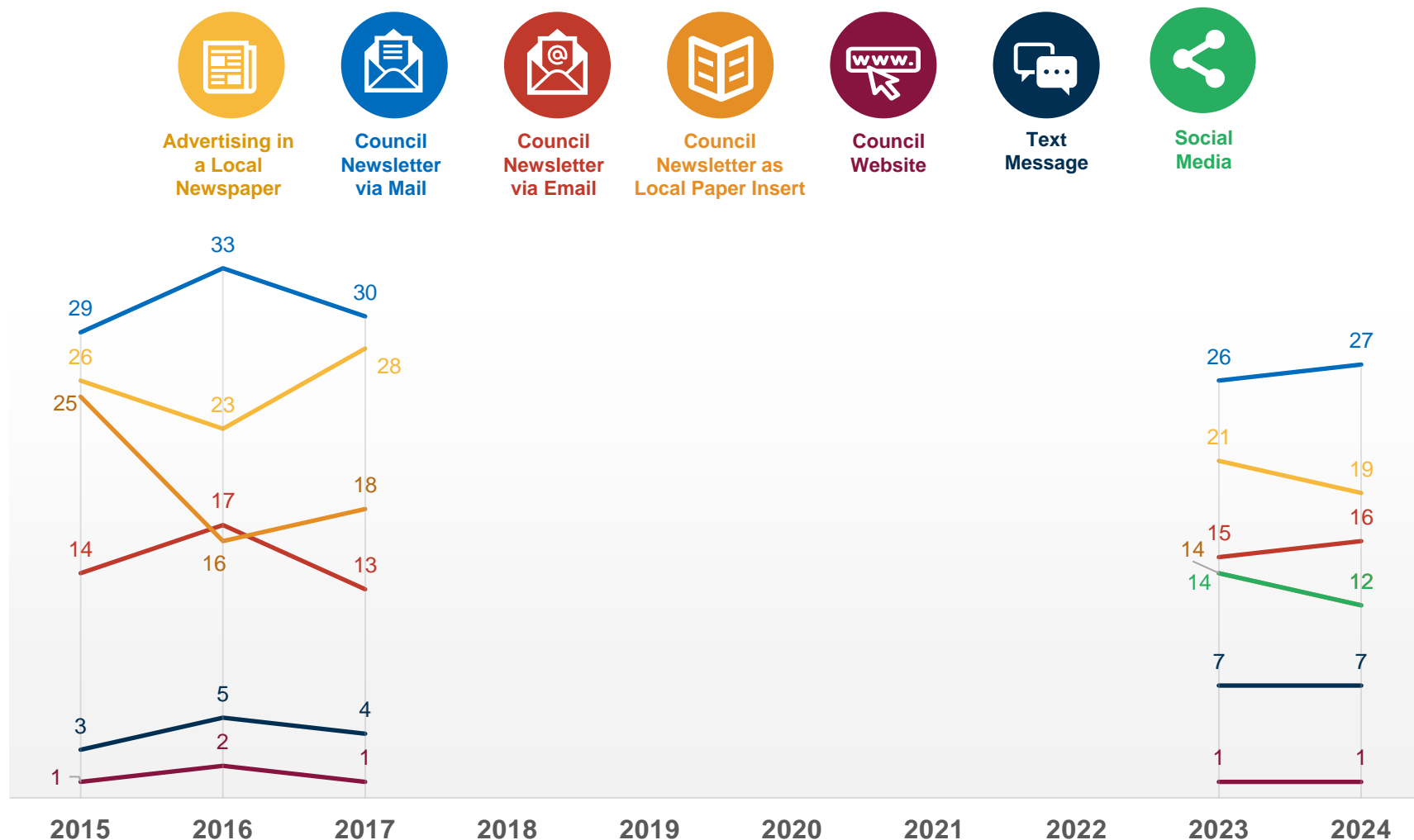
- Among residents aged under 50 years, mailed newsletters (26%) are now slightly preferred over social media updates (22%). Preference for text messaging lifted to 14% among this age group.
- Residents aged 50 years and over prefer to receive mailed newsletters (28%) and advertising in a local newspaper (23%) ahead of other sources. Newsletters sent via mail has typically been the preferred form of communication among this age group across the years measured (2017 being an exception).





Best form of communication

2024 best form of communication (%)

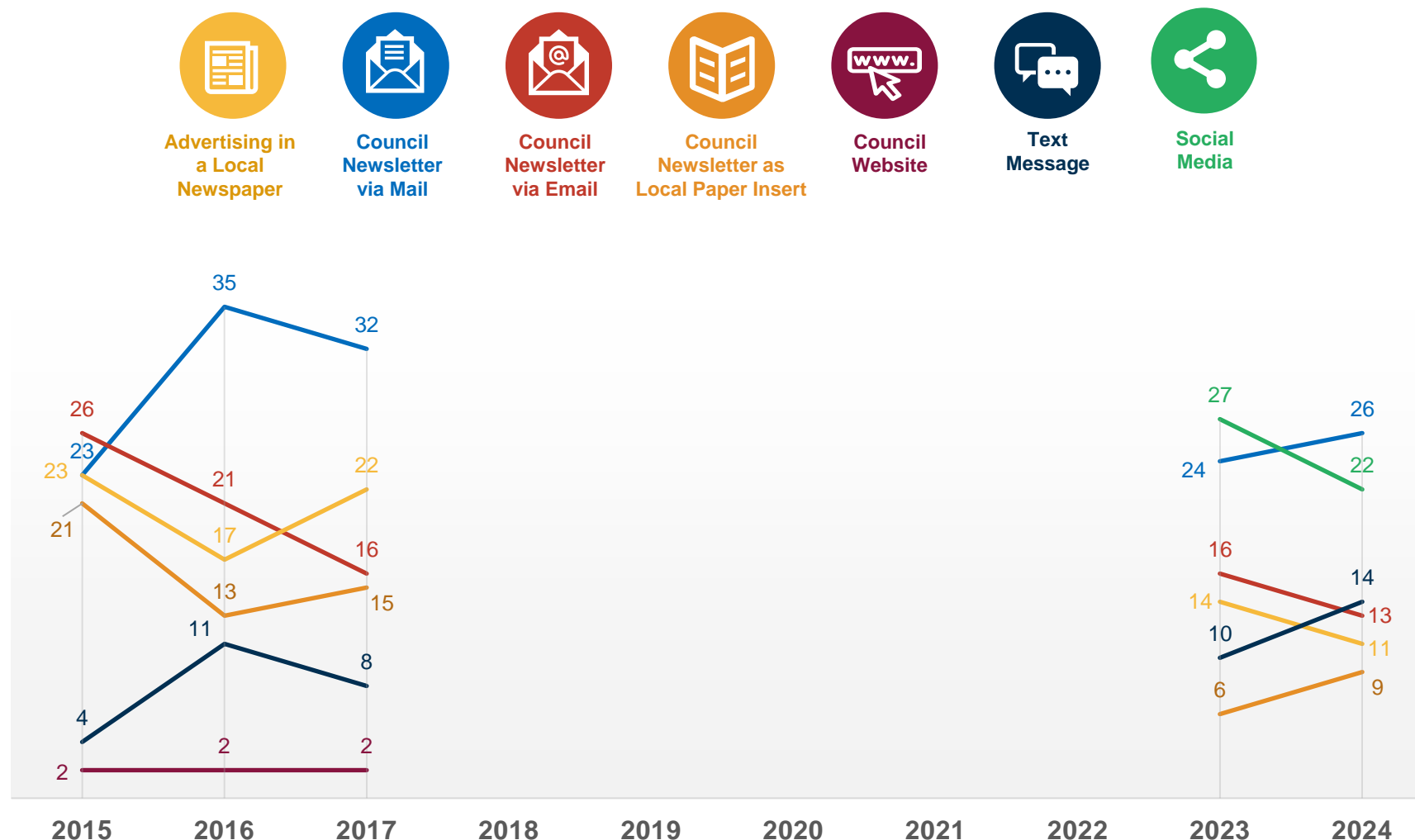


Q13. If Buloke Shire Council was going to get in touch with you to inform you about Council news and information and upcoming events, which ONE of the following is the BEST way to communicate with you?



Best form of communication: under 50s

2024 under 50s best form of communication (%)

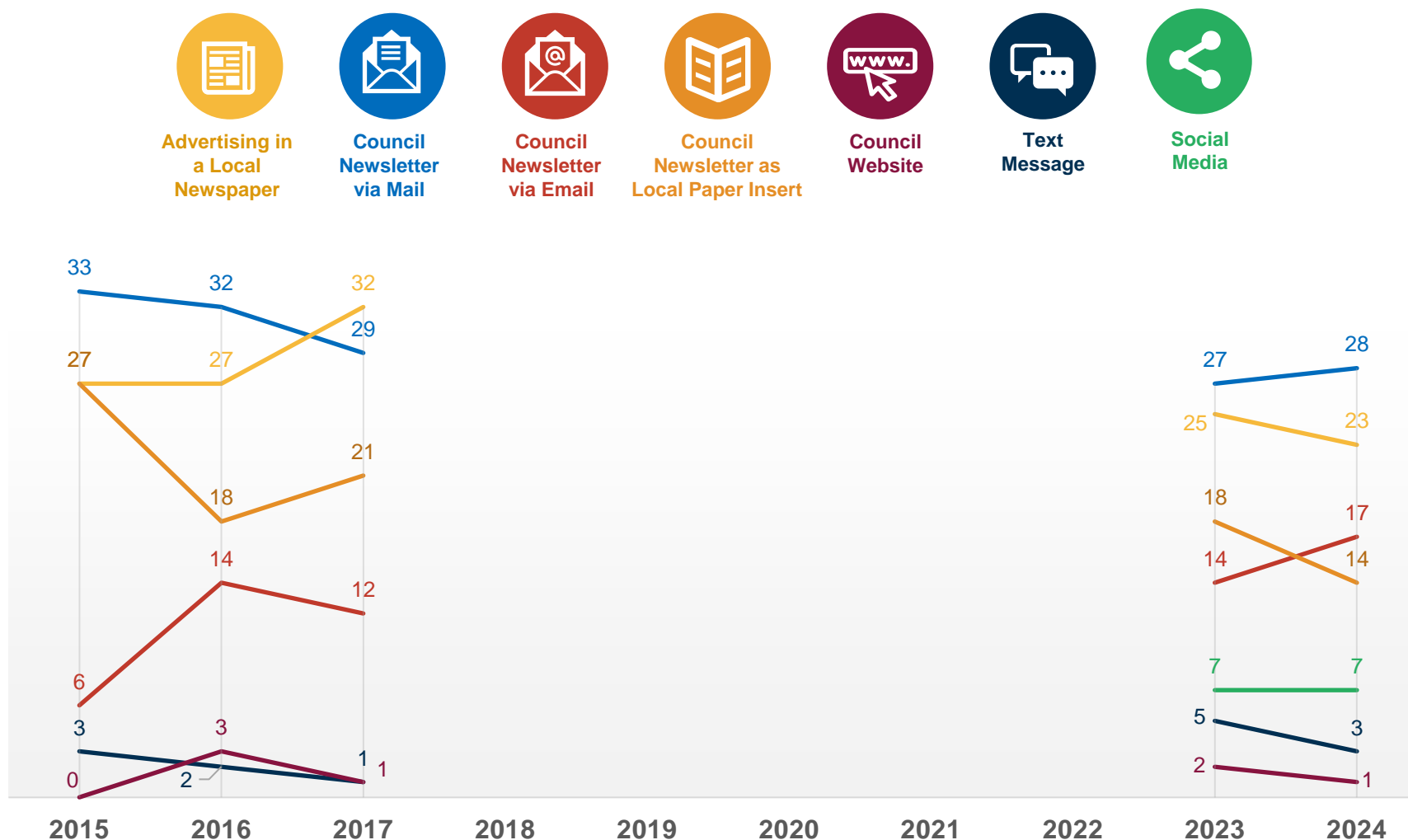


Q13. If Buloke Shire Council was going to get in touch with you to inform you about Council news and information and upcoming events, which ONE of the following is the BEST way to communicate with you?



Best form of communication: 50+ years

2024 50+ years best form of communication (%)



Q13. If Buloke Shire Council was going to get in touch with you to inform you about Council news and information and upcoming events, which ONE of the following is the BEST way to communicate with you?



Council direction



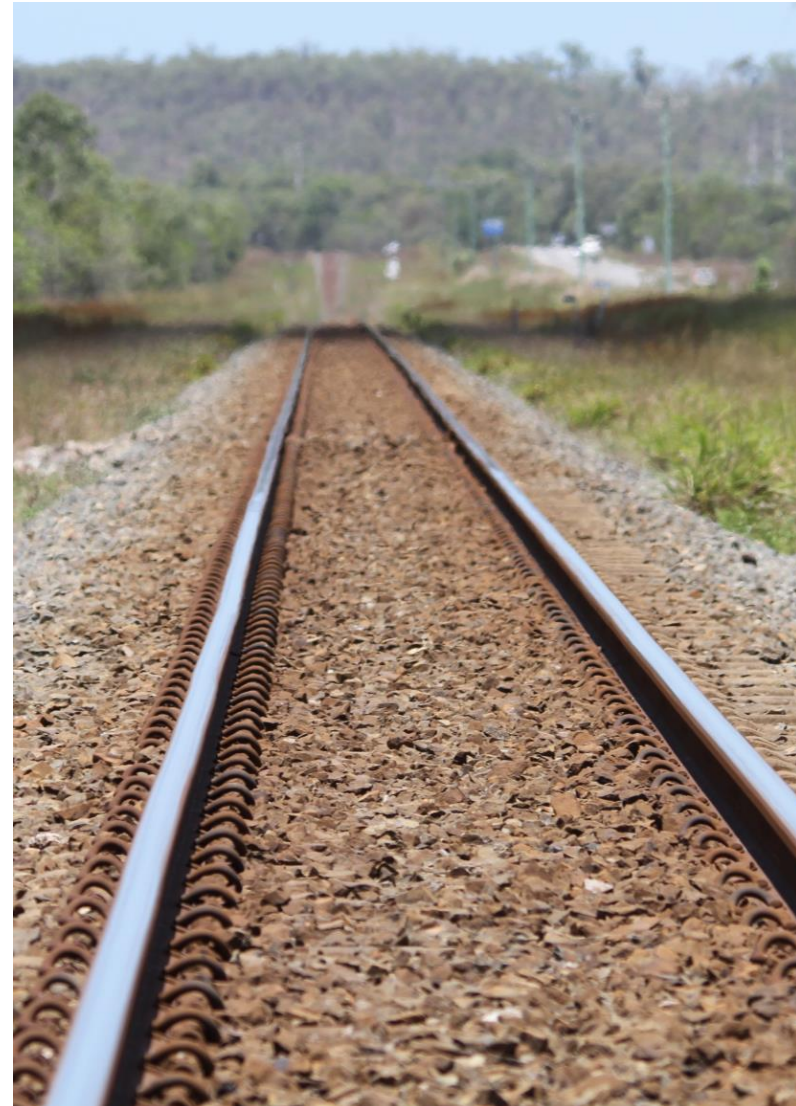
Council direction

Perceptions of the direction of Council's overall performance (index score of 38) is in line with the previous year's rating, having declined by just two index points in the past year. Council's directional rating returned to the lower levels last seen pre-2017.

Direction of Council's overall performance is rated significantly lower than both the State-wide and Small Rural group averages (index scores of 45 and 44 respectively).

Over the last 12 months, 10% of residents believe the direction of Council's overall performance has improved. Half of residents (54%) believe it has stayed the same, and 34% think it has deteriorated (a steady increase from 13% in 2021).

- Residents of Charlton (index score of 30) rate the direction of Council's overall performance significantly lower than the average.
- By contrast, residents of Seal Lake (index score of 43) rate council direction highest (although in line with the average) and 13 points higher than in Charlton. Residents of Donald (index score of 37) also rate council direction in line with the average.





Overall council direction last 12 months

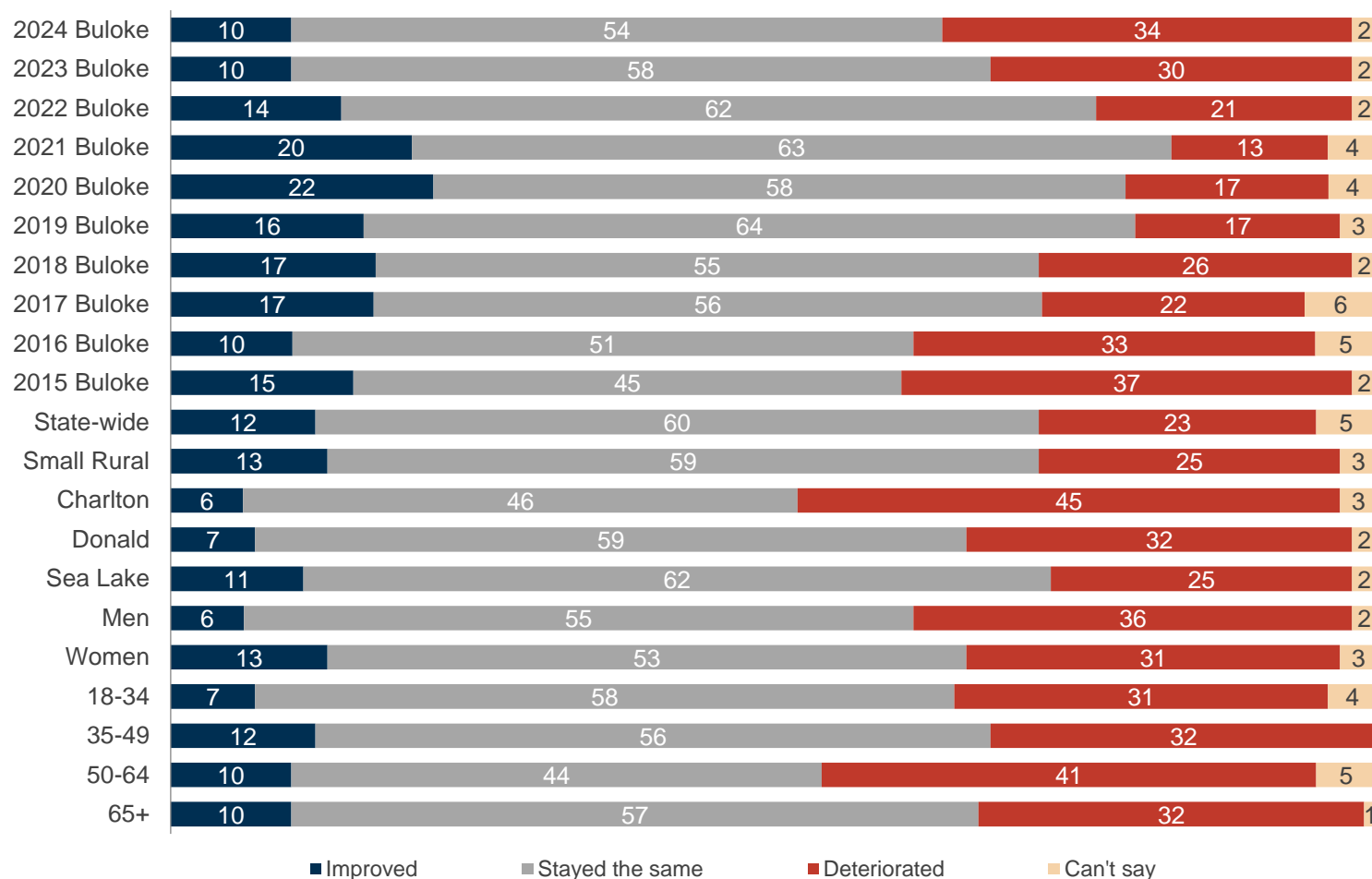
2024 overall council direction (index scores)

		2023	2022	2021	2020	2019	2018	2017	2016	2015
State-wide	45▲	46	50	53	51	53	52	53	51	53
Small Rural	44▲	47	51	53	50	53	50	52	50	53
Sea Lake	43	40	36	51	54	42	42	43	n/a	n/a
Women	41	40	46	55	56	51	49	52	38	38
35-49	40	37	36	52	50	42	48	51	37	36
65+	39	39	50	55	56	55	50	48	46	39
Buloke	38	40	47	54	53	50	46	47	38	39
18-34	37	44	57	59	61	47	46	52	35	43
Donald	37	37	47	47	46	52	42	44	n/a	n/a
Men	35	39	48	53	49	48	42	42	38	39
50-64	34	38	43	48	45	50	37	40	30	37
Charlton	30▼	40	51	65	62	54	46	47	n/a	n/a



Overall council direction last 12 months

2024 overall council direction (%)





Individual service areas



Community consultation and engagement importance



2024 consultation and engagement importance (index scores)

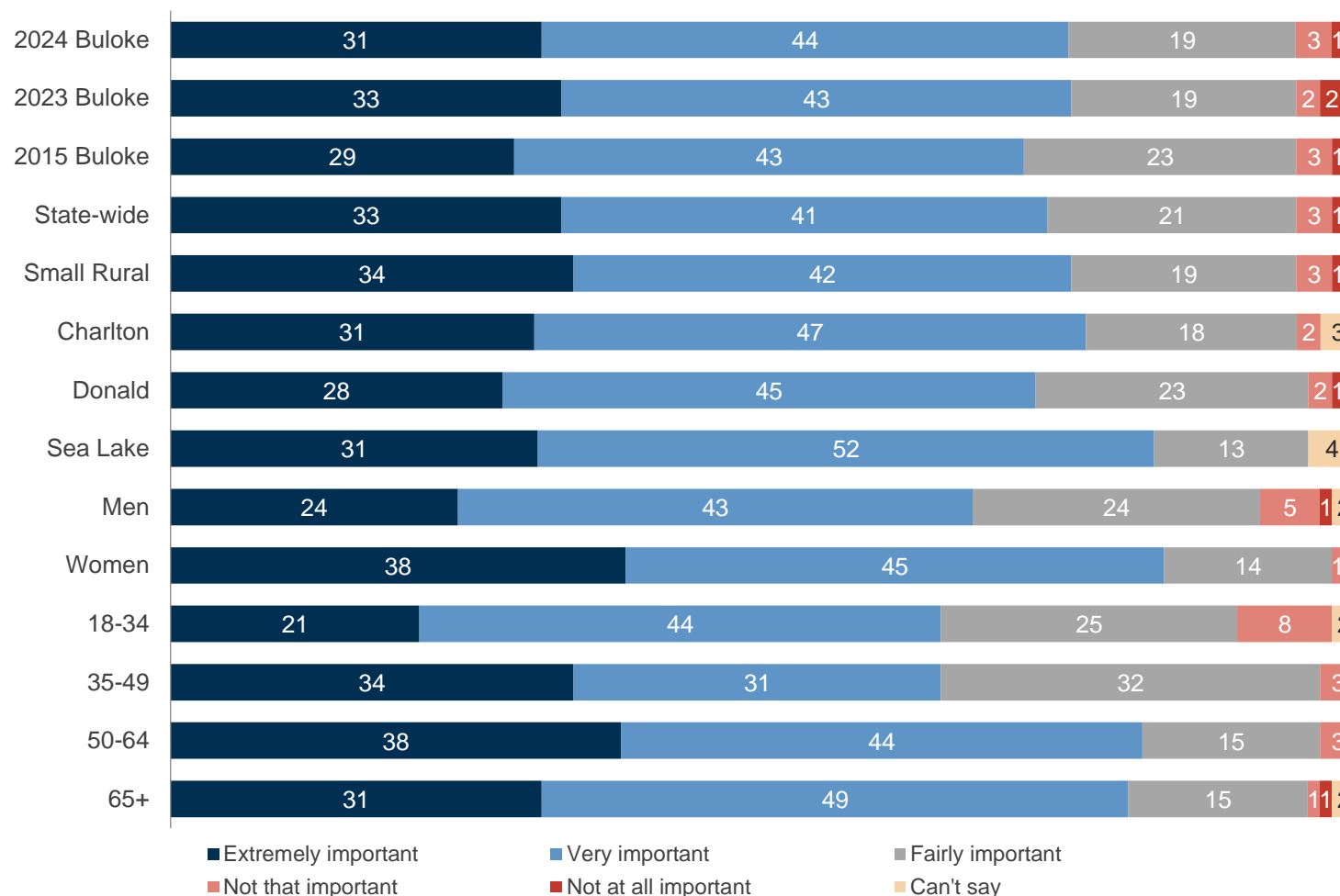
		2023	2022	2021	2020	2019	2018	2017	2016	2015
Women	80▲	80	n/a	n/a	n/a	n/a	n/a	n/a	n/a	80
Sea Lake	80	76	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
50-64	79	78	n/a	n/a	n/a	n/a	n/a	n/a	n/a	79
65+	77	78	n/a	n/a	n/a	n/a	n/a	n/a	n/a	71
Charlton	77	77	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Small Rural	77	77	78	77	76	76	74	75	77	76
State-wide	76	76	76	75	74	74	74	74	75	74
Buloke	76	76	n/a	n/a	n/a	n/a	n/a	n/a	n/a	74
Donald	75	74	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
35-49	74	79	n/a	n/a	n/a	n/a	n/a	n/a	n/a	72
Men	71▼	73	n/a	n/a	n/a	n/a	n/a	n/a	n/a	69
18-34	70▼	68	n/a	n/a	n/a	n/a	n/a	n/a	n/a	76



Community consultation and engagement importance



2024 consultation and engagement importance (%)





Community consultation and engagement performance



2024 consultation and engagement performance (index scores)

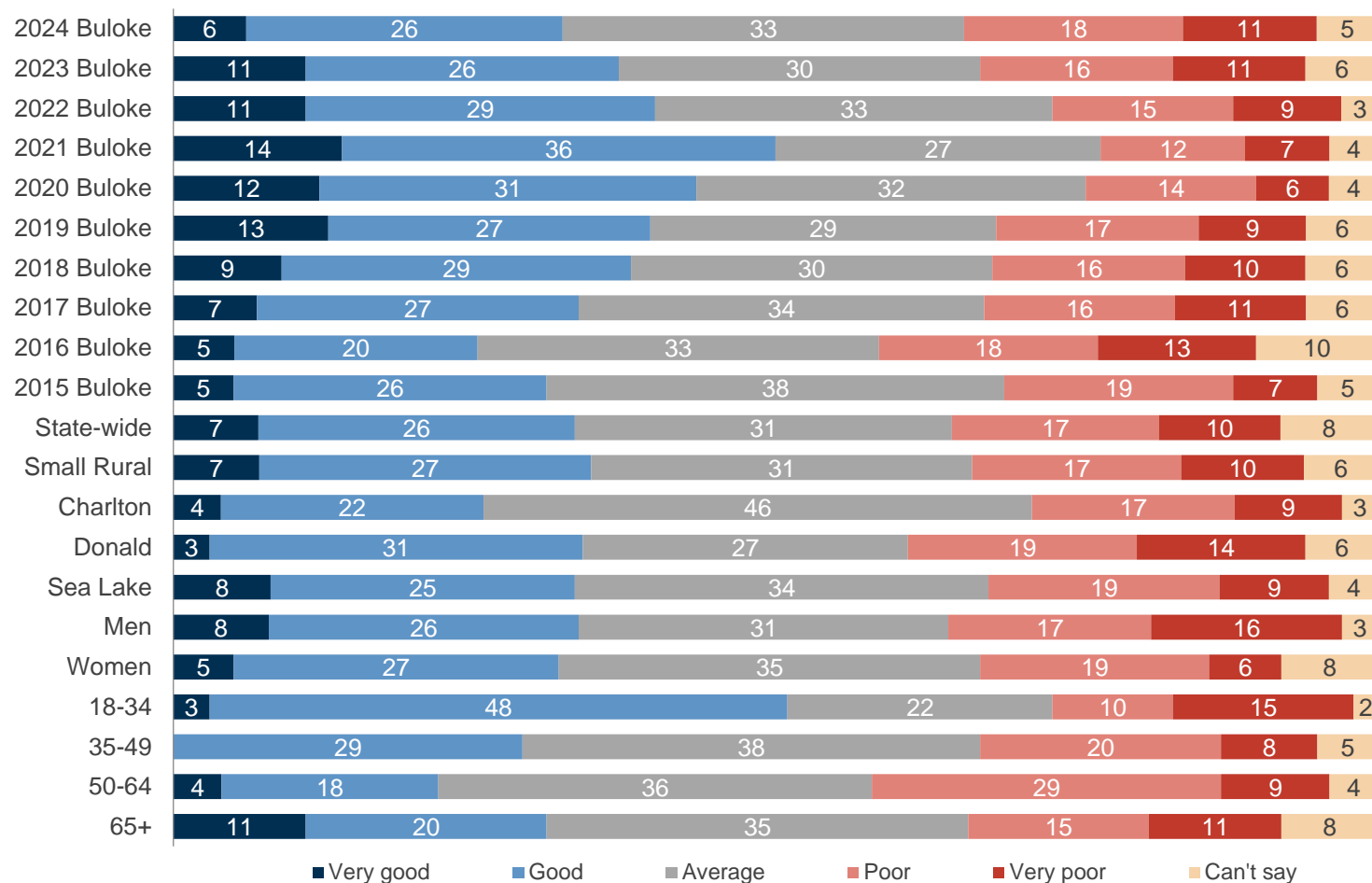
		2023	2022	2021	2020	2019	2018	2017	2016	2015
18-34	54	50	67	66	68	62	59	49	44	58
Women	52	54	56	62	60	56	55	54	48	51
65+	51	55	57	63	59	60	57	52	49	53
Small Rural	51	53	54	56	54	56	54	55	55	56
Sea Lake	51	54	43	58	64	53	48	58	n/a	n/a
State-wide	51	52	54	56	55	56	55	55	54	56
Buloke	50	52	54	60	58	55	53	51	46	51
Charlton	49	53	55	64	60	50	51	46	n/a	n/a
Men	48	51	53	58	55	53	51	47	44	50
35-49	48	54	46	56	57	50	55	55	50	48
Donald	48	53	54	54	58	57	54	51	n/a	n/a
50-64	44▼	48	49	51	49	48	43	45	41	45



Community consultation and engagement performance



2024 consultation and engagement performance (%)





Lobbying on behalf of the community performance



2024 lobbying performance (index scores)

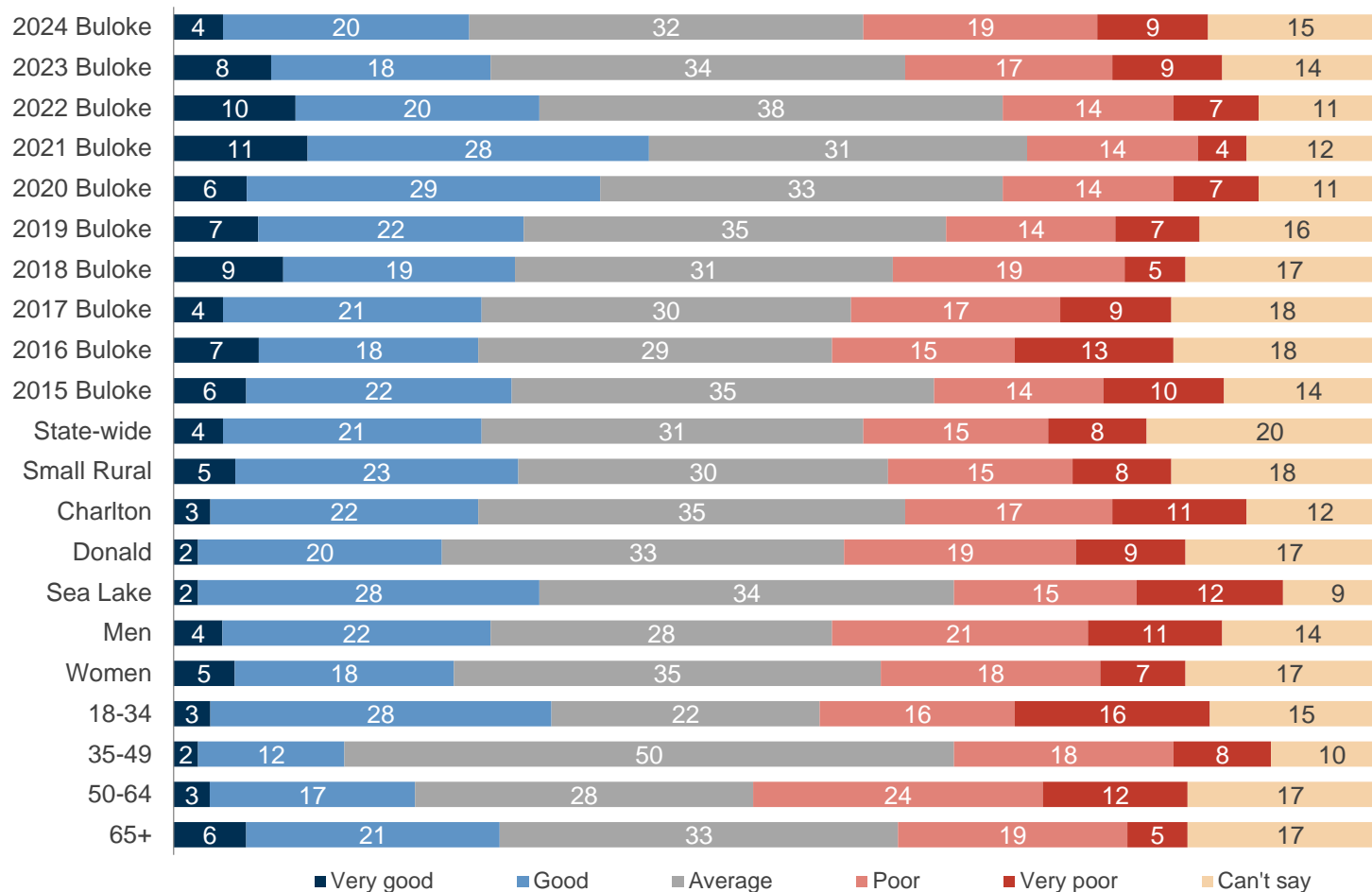
		2023	2022	2021	2020	2019	2018	2017	2016	2015
65+	51	51	58	63	55	60	56	53	53	57
Small Rural	50▲	52	54	55	52	55	53	55	54	56
State-wide	50▲	51	53	55	53	54	54	54	53	55
Women	49	49	54	61	55	55	54	52	49	52
Sea Lake	48	51	41	48	47	52	56	48	n/a	n/a
Buloke	47	49	53	58	54	52	52	49	48	50
Charlton	47	47	55	64	61	52	51	46	n/a	n/a
Donald	46	50	51	56	53	52	49	49	n/a	n/a
Men	46	50	53	55	53	49	50	46	46	48
18-34	46	51	53	59	59	55	56	48	46	49
35-49	45	48	48	52	53	44	58	50	48	47
50-64	43	47	50	52	49	46	42	44	41	45



Lobbying on behalf of the community performance



2024 lobbying performance (%)



Decisions made in the interest of the community performance



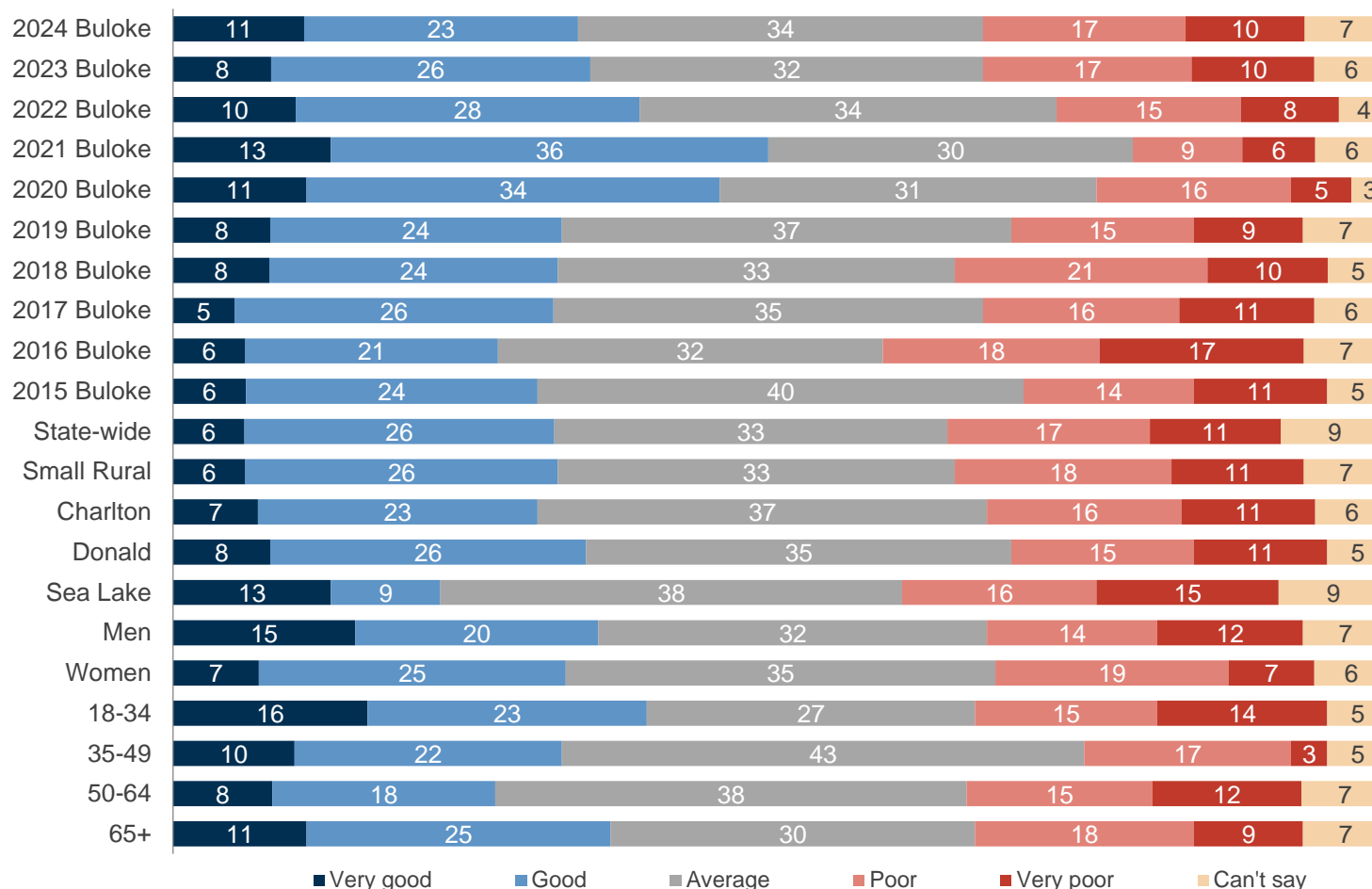
2024 community decisions made performance (index scores)

		2023	2022	2021	2020	2019	2018	2017	2016	2015
35-49	55	52	44	53	59	43	56	52	48	46
18-34	53	51	58	64	61	58	47	48	43	57
Men	53	50	53	59	56	49	48	47	44	50
65+	53	54	61	68	62	59	54	51	49	56
Buloke	52	52	54	61	58	52	50	49	45	50
Women	51	53	56	64	59	56	52	52	46	50
Donald	51	53	53	60	58	54	47	51	n/a	n/a
Charlton	50	51	60	65	61	52	47	43	n/a	n/a
State-wide	50	51	54	56	53	55	54	54	54	55
Small Rural	50	52	54	56	53	55	52	55	53	56
50-64	49	48	50	52	48	46	41	46	39	42
Sea Lake	47	49	44	58	56	52	45	50	n/a	n/a

Decisions made in the interest of the community performance



2024 community decisions made performance (%)



The condition of sealed local roads in your area importance



2024 sealed local roads importance (index scores)

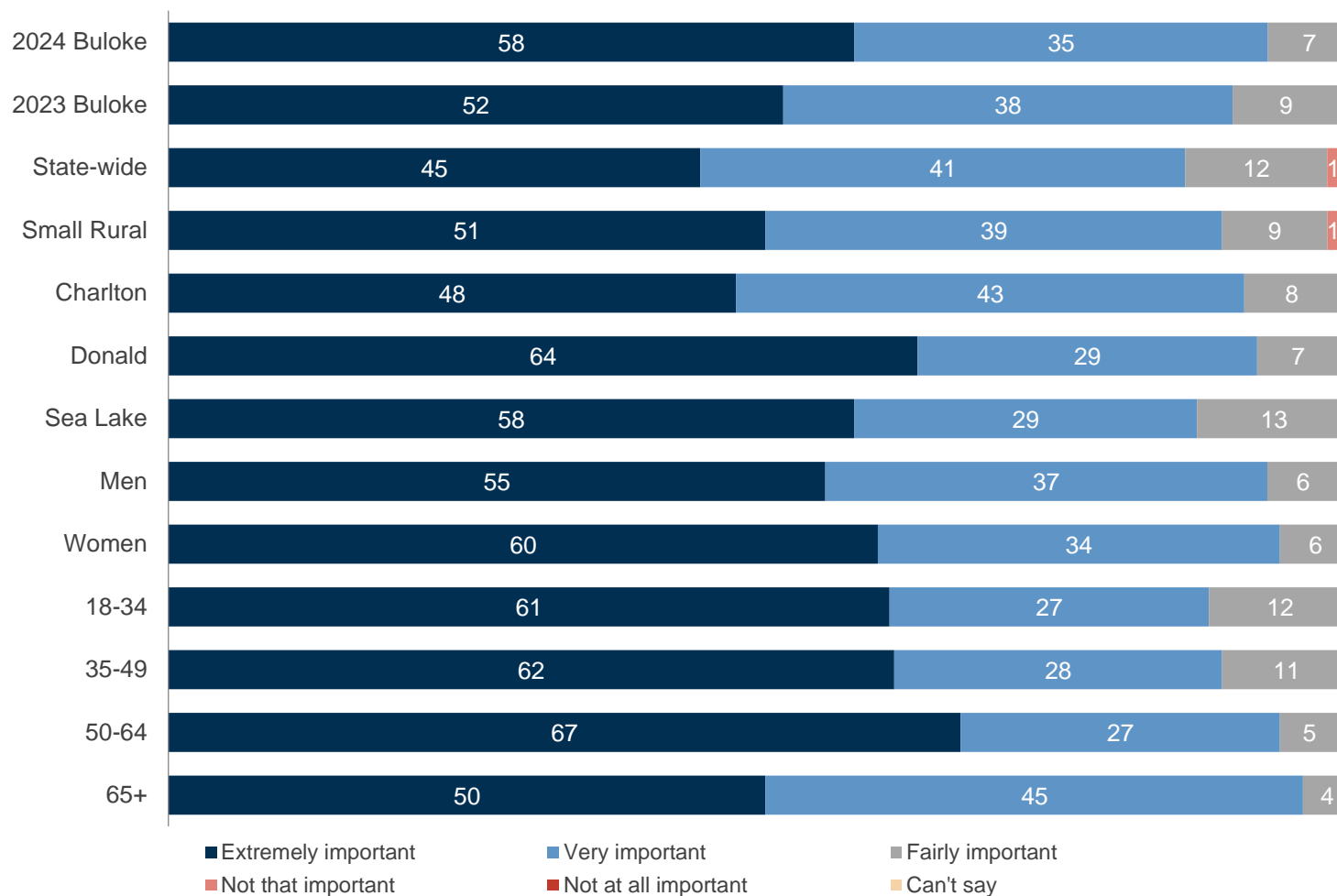
		2023	2022	2021	2020	2019	2018	2017	2016	2015
50-64	90	90	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Donald	89	85	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Women	89	86	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
35-49	88	84	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Buloke	88	85	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
18-34	87	82	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Men	87	85	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
65+	86	85	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Sea Lake	86	86	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Small Rural	85	84	82	81	83	82	84	81	n/a	78
Charlton	85	85	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
State-wide	83	82	81	79	79	79	80	78	78	76

Q1 Firstly, how important should 'The condition of sealed local roads in your area' be as a responsibility for Council?

The condition of sealed local roads in your area importance



2024 sealed local roads importance (%)



The condition of sealed local roads in your area performance



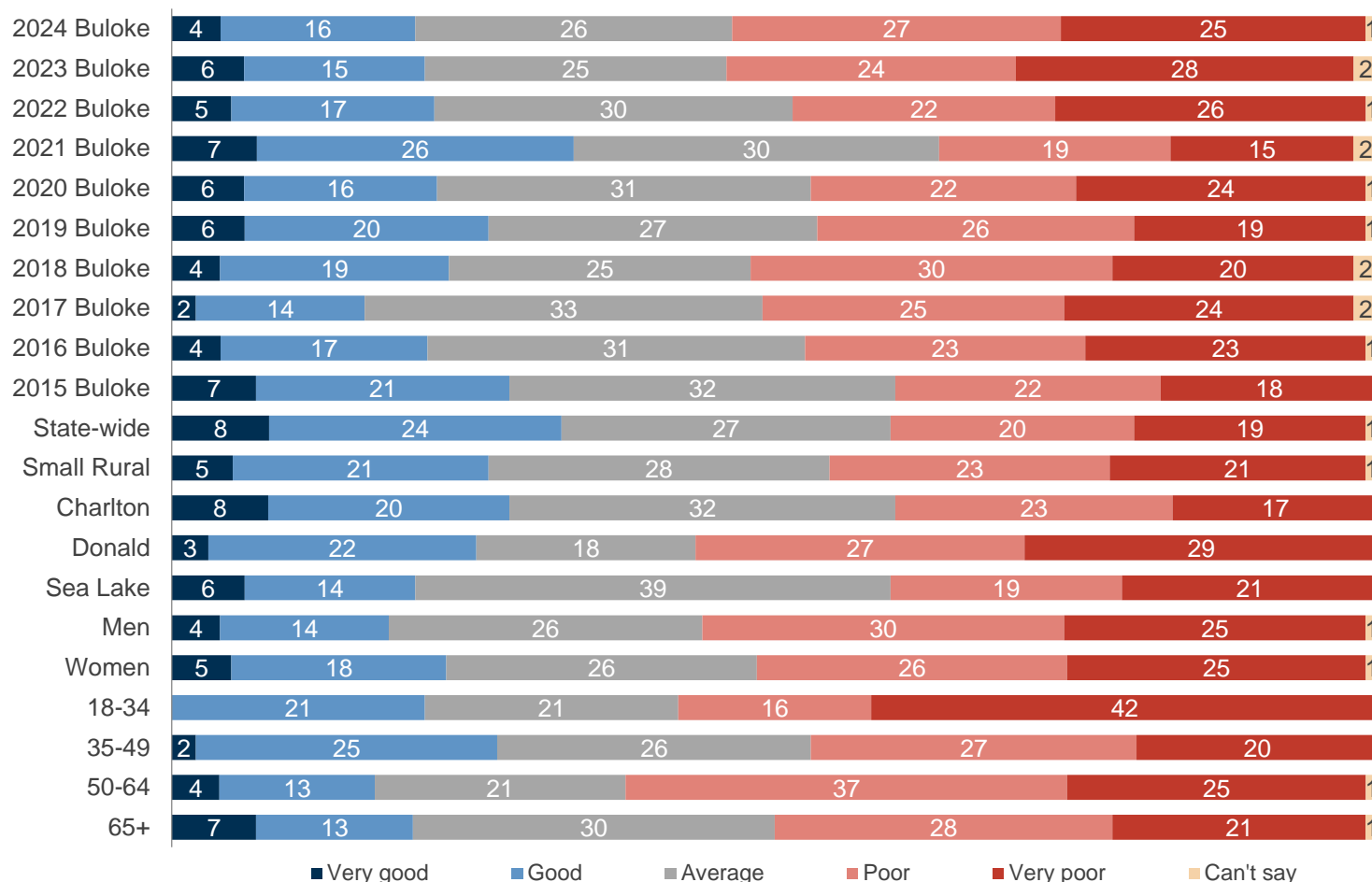
2024 sealed local roads performance (index scores)

		2023	2022	2021	2020	2019	2018	2017	2016	2015
State-wide	45▲	48	53	57	54	56	53	53	54	55
Charlton	45▲	45	45	57	51	51	45	38	n/a	n/a
Small Rural	41▲	44	50	53	51	53	49	50	52	52
Sea Lake	41	32	33	37	34	40	38	38	n/a	n/a
35-49	41	36	28	36	31	32	36	32	38	34
65+	39	43	46	51	48	51	47	41	46	53
Women	38	37	41	50	39	38	40	39	38	46
Buloke	37	37	38	48	39	42	39	36	39	44
Donald	36	37	38	46	34	36	35	35	n/a	n/a
Men	36	36	35	46	40	45	38	34	41	42
50-64	34	31	33	44	35	36	35	33	36	42
18-34	30	29	41	59	35	40	32	39	32	41

The condition of sealed local roads in your area performance



2024 sealed local roads performance (%)



The condition of local streets and footpaths in your area importance



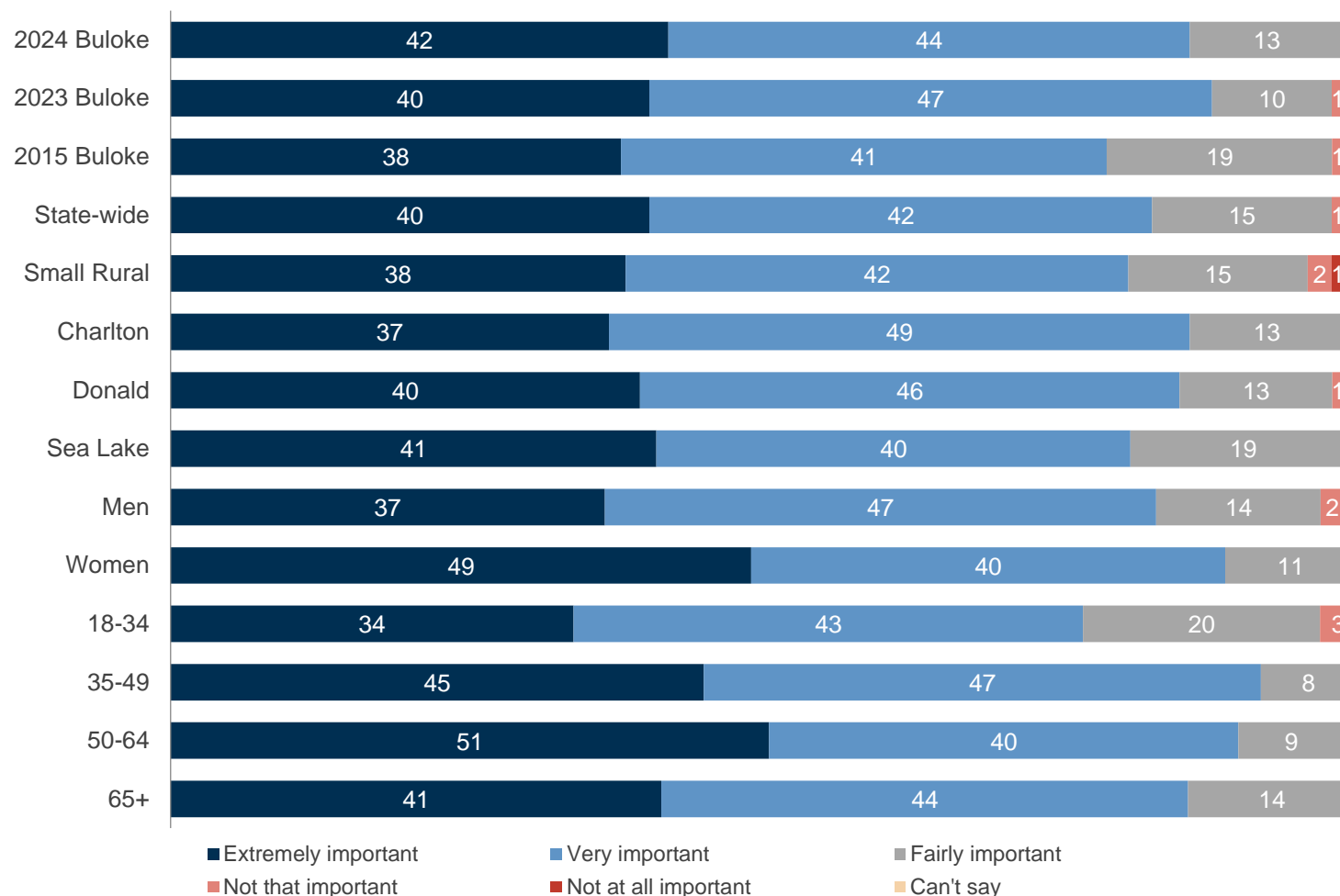
2024 streets and footpaths importance (index scores)

		2023	2022	2021	2020	2019	2018	2017	2016	2015
50-64	86▲	84	n/a	n/a	n/a	n/a	n/a	n/a	n/a	82
35-49	84	81	n/a	n/a	n/a	n/a	n/a	n/a	n/a	81
Women	84	84	n/a	n/a	n/a	n/a	n/a	n/a	n/a	83
Buloke	82	82	n/a	n/a	n/a	n/a	n/a	n/a	n/a	79
Donald	81	80	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
65+	81	82	n/a	n/a	n/a	n/a	n/a	n/a	n/a	77
Sea Lake	81	83	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Charlton	81	84	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
State-wide	80▼	81	81	79	78	77	78	77	77	77
Men	80	79	n/a	n/a	n/a	n/a	n/a	n/a	n/a	76
Small Rural	80	80	80	77	77	77	76	76	75	76
18-34	77▼	79	n/a	n/a	n/a	n/a	n/a	n/a	n/a	77

The condition of local streets and footpaths in your area importance



2024 streets and footpaths importance (%)



The condition of local streets and footpaths in your area performance



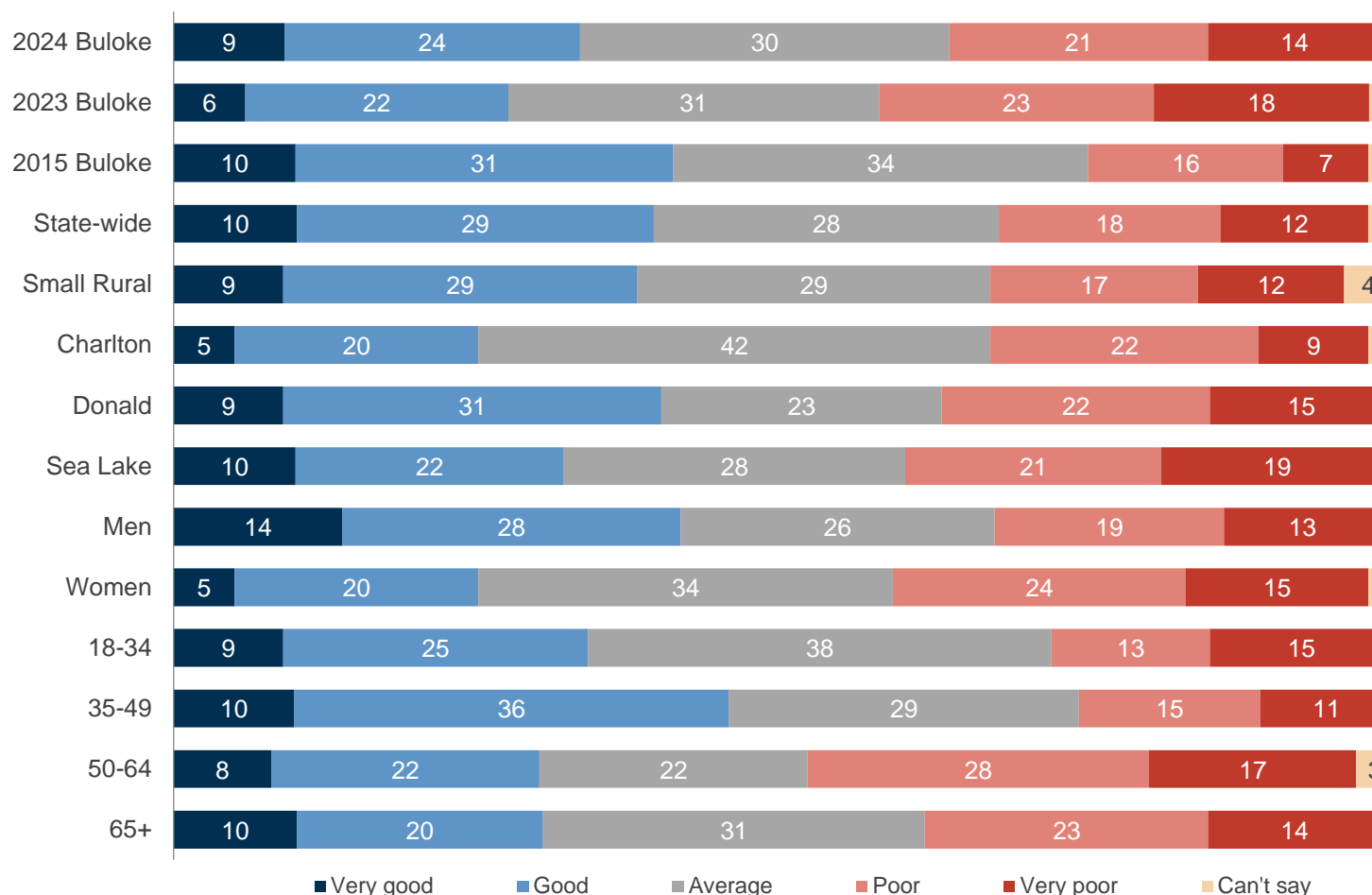
2024 streets and footpaths performance (index scores)

		2023	2022	2021	2020	2019	2018	2017	2016	2015
35-49	55	43	n/a	n/a	n/a	n/a	n/a	n/a	n/a	55
Men	53	42	n/a	n/a	n/a	n/a	n/a	n/a	n/a	56
State-wide	52▲	52	57	59	58	59	58	57	57	58
Small Rural	51	52	55	58	57	57	57	57	58	59
18-34	50	36	n/a	n/a	n/a	n/a	n/a	n/a	n/a	58
Donald	49	45	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Buloke	48	44	n/a	n/a	n/a	n/a	n/a	n/a	n/a	56
Charlton	47	46	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
65+	47	49	n/a	n/a	n/a	n/a	n/a	n/a	n/a	60
Sea Lake	46	42	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
50-64	44	39	n/a	n/a	n/a	n/a	n/a	n/a	n/a	50
Women	44	45	n/a	n/a	n/a	n/a	n/a	n/a	n/a	56

The condition of local streets and footpaths in your area performance



2024 streets and footpaths performance (%)





Enforcement of local laws importance



2024 law enforcement importance (index scores)

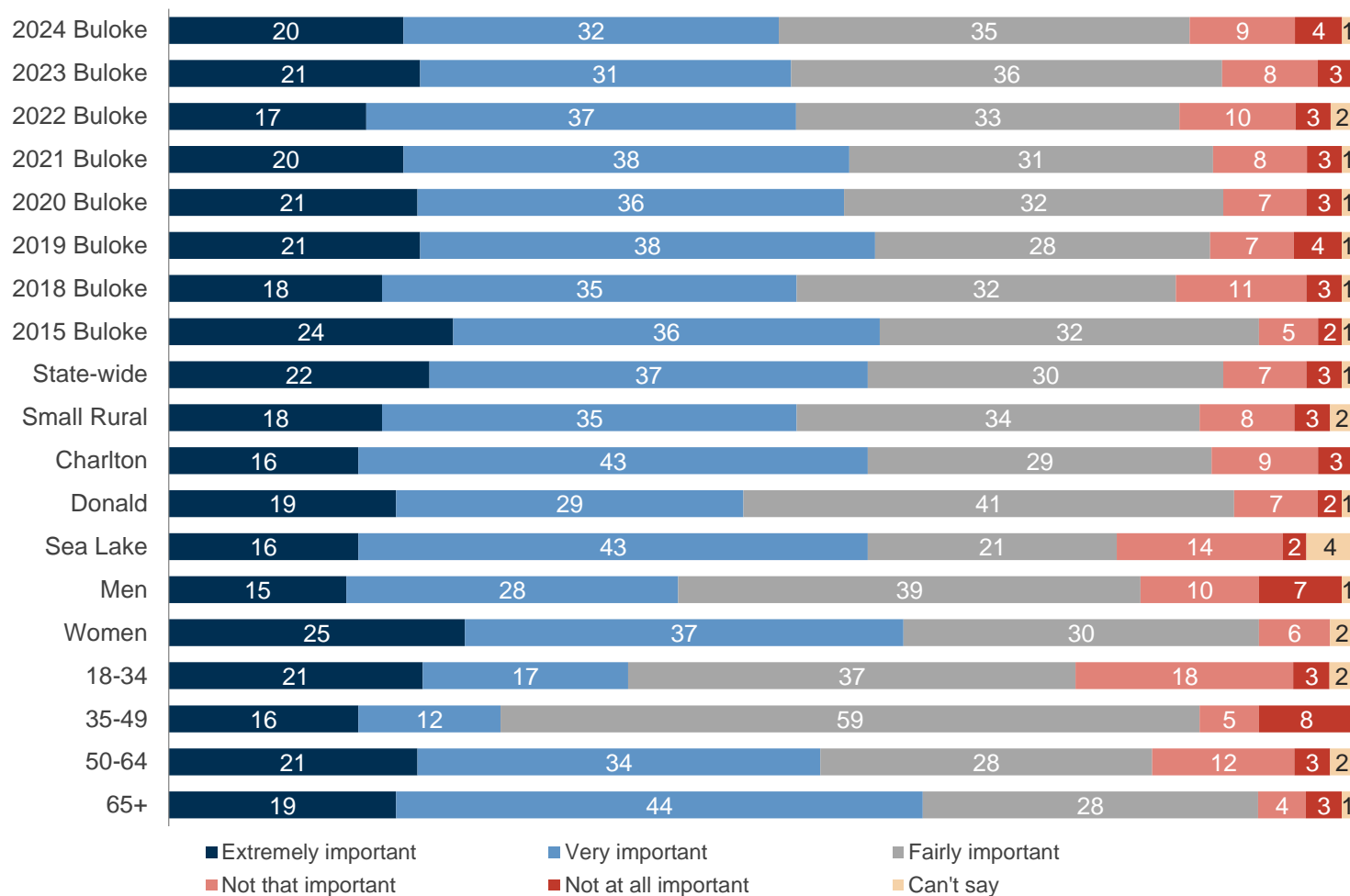
		2023	2022	2021	2020	2019	2018	2017	2016	2015
Women	70▲	71	68	71	71	75	71	n/a	n/a	76
65+	68	68	71	72	68	70	67	n/a	n/a	67
State-wide	67▲	68	68	70	70	71	71	71	70	71
Sea Lake	65	71	65	71	70	61	63	n/a	n/a	n/a
Charlton	65	68	65	69	64	69	65	n/a	n/a	n/a
50-64	65	65	65	63	66	62	65	n/a	n/a	70
Small Rural	65	65	65	67	66	68	66	67	69	68
Buloke	64	65	64	66	66	66	64	n/a	n/a	69
Donald	64	61	62	62	65	69	62	n/a	n/a	n/a
18-34	59	59	59	59	66	69	56	n/a	n/a	72
Men	58▼	59	60	62	61	59	57	n/a	n/a	61
35-49	56▼	61	54	61	63	65	65	n/a	n/a	66



Enforcement of local laws importance



2024 law enforcement importance (%)





Enforcement of local laws performance



2024 law enforcement performance (index scores)

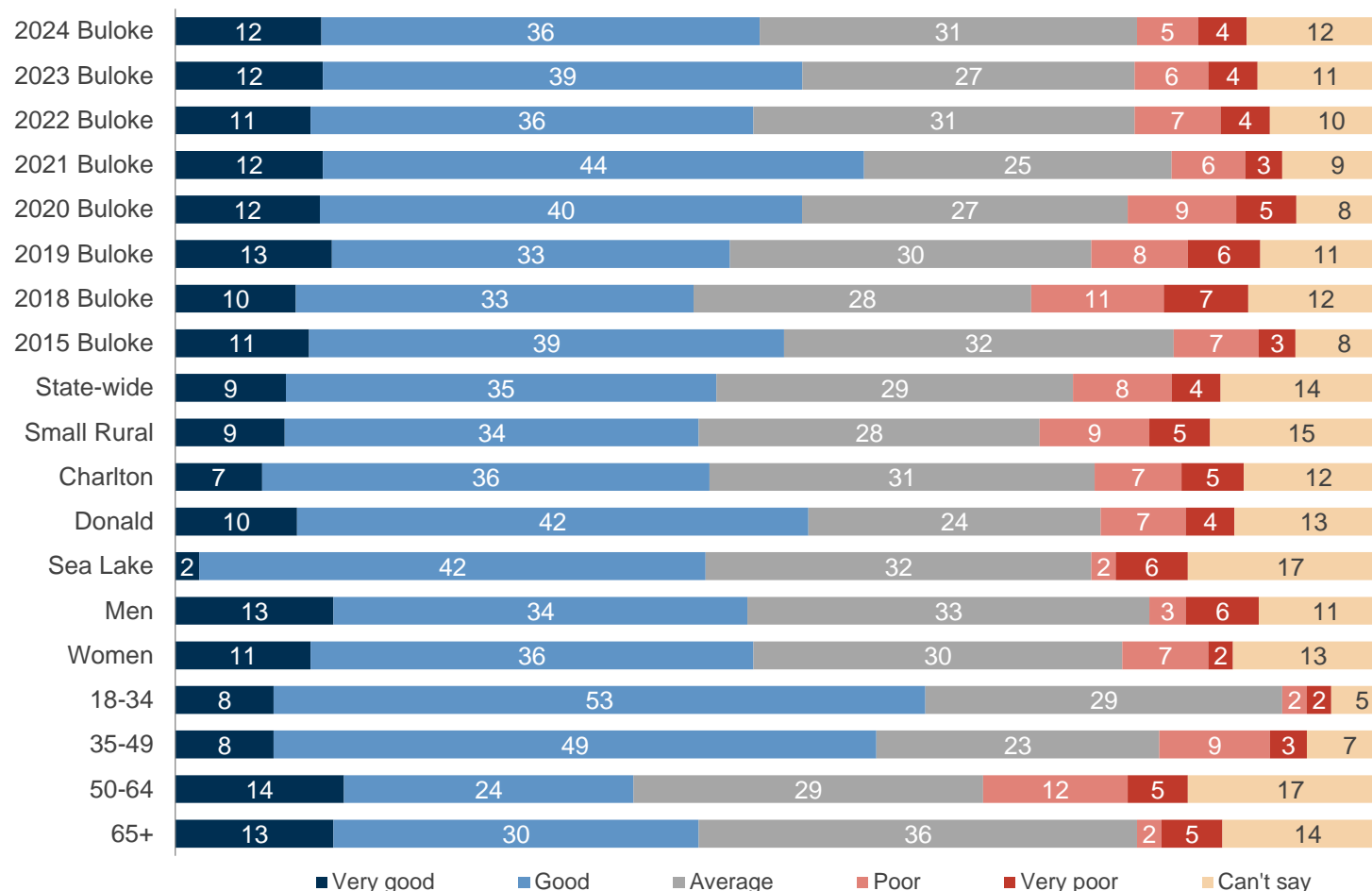
		2023	2022	2021	2020	2019	2018	2017	2016	2015
18-34	67	63	65	70	72	63	54	n/a	n/a	72
35-49	64	64	59	63	60	57	65	n/a	n/a	61
Women	63	64	66	67	62	63	61	n/a	n/a	66
Donald	63	64	61	68	61	60	61	n/a	n/a	n/a
Buloke	63	64	62	65	62	61	58	n/a	n/a	63
65+	63	66	64	66	63	65	61	n/a	n/a	63
Men	63	63	58	64	63	58	56	n/a	n/a	61
State-wide	61	61	63	64	63	64	64	64	63	66
Small Rural	60	61	62	63	62	63	63	65	64	66
Charlton	60	68	65	61	63	60	50	n/a	n/a	n/a
Sea Lake	60	64	53	65	62	59	58	n/a	n/a	n/a
50-64	60	60	58	60	57	56	52	n/a	n/a	59



Enforcement of local laws performance



2024 law enforcement performance (%)





Recreational facilities importance



2024 recreational facilities importance (index scores)

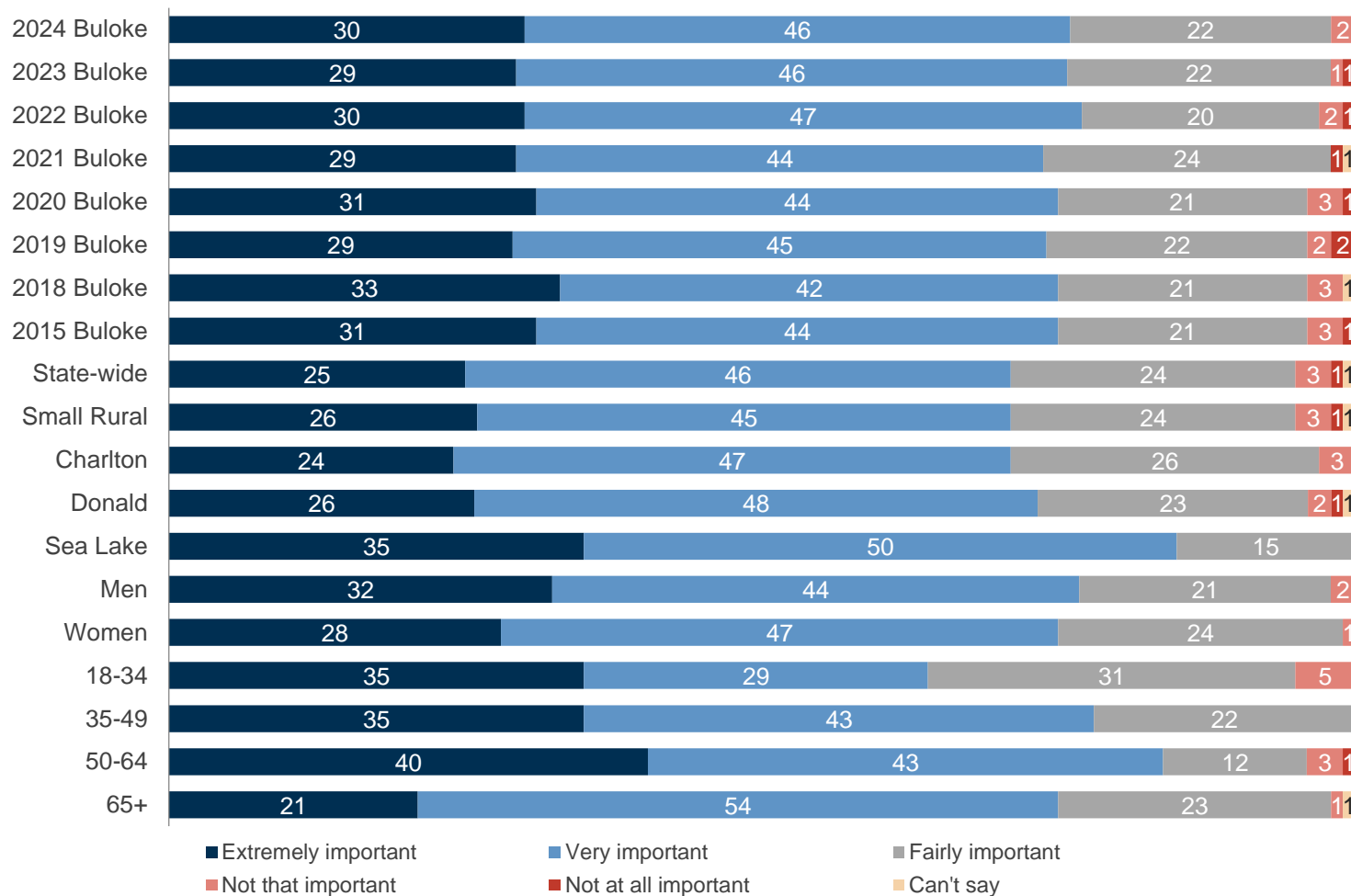
		2023	2022	2021	2020	2019	2018	2017	2016	2015
Sea Lake	80	73	74	77	78	76	76	n/a	n/a	n/a
50-64	80	76	74	76	76	72	74	n/a	n/a	77
35-49	78	81	78	77	80	80	82	n/a	n/a	80
Men	76	75	74	75	74	72	78	n/a	n/a	73
Buloke	76	76	76	76	76	74	77	n/a	n/a	75
Women	76	77	78	76	78	77	75	n/a	n/a	78
Donald	74	76	76	76	73	77	78	n/a	n/a	n/a
65+	74	73	75	76	74	72	73	n/a	n/a	70
18-34	73	76	81	72	75	76	82	n/a	n/a	78
State-wide	73▼	73	74	74	72	72	73	72	73	72
Small Rural	73▼	73	74	73	73	72	72	71	72	73
Charlton	73	73	73	72	73	73	74	n/a	n/a	n/a



Recreational facilities importance



2024 recreational facilities importance (%)





Recreational facilities performance



2024 recreational facilities performance (index scores)

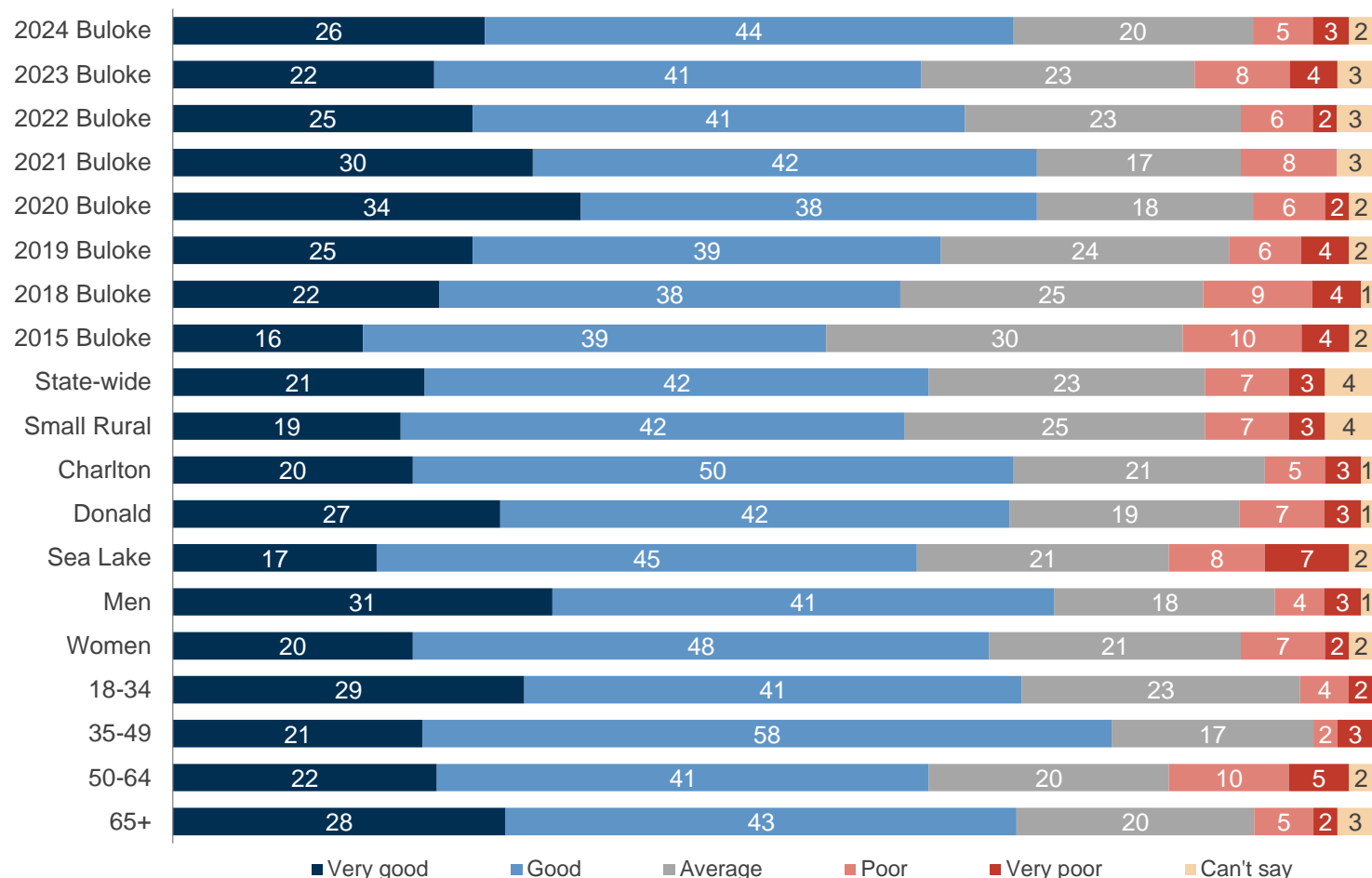
		2023	2022	2021	2020	2019	2018	2017	2016	2015
Men	73	68	72	73	72	68	65	n/a	n/a	62
65+	73	74	77	79	80	75	72	n/a	n/a	74
18-34	73	66	72	72	78	70	61	n/a	n/a	52
35-49	73	59	65	71	72	58	72	n/a	n/a	59
Buloke	72	68	71	74	74	69	67	n/a	n/a	63
Donald	71	70	71	73	72	68	60	n/a	n/a	n/a
Charlton	70	70	74	79	83	71	63	n/a	n/a	n/a
Women	70	68	71	75	77	70	68	n/a	n/a	65
State-wide	68▼	68	69	71	70	70	69	70	69	70
Small Rural	67▼	67	69	69	68	68	69	69	68	70
50-64	67	66	68	70	66	67	59	n/a	n/a	62
Sea Lake	64	58	67	66	69	67	62	n/a	n/a	n/a



Recreational facilities performance



2024 recreational facilities performance (%)





The appearance of public areas importance



2024 public areas importance (index scores)

		2023	2022	2021	2020	2019	2018	2017	2016	2015
35-49	82▲	75	73	79	81	73	79	n/a	n/a	75
Women	79	80	78	78	81	77	76	n/a	n/a	77
Charlton	77	78	75	75	77	74	76	n/a	n/a	n/a
50-64	77	78	75	77	75	71	74	n/a	n/a	78
Buloke	76	77	75	76	76	75	74	n/a	n/a	74
Sea Lake	76	80	75	75	80	75	73	n/a	n/a	n/a
65+	75	76	75	75	75	76	73	n/a	n/a	73
State-wide	74	74	75	75	74	73	74	74	74	73
Small Rural	74	74	74	74	74	74	74	74	74	73
Men	74	74	72	74	72	73	73	n/a	n/a	72
18-34	74	78	75	73	74	79	73	n/a	n/a	72
Donald	74	75	74	77	74	73	75	n/a	n/a	n/a

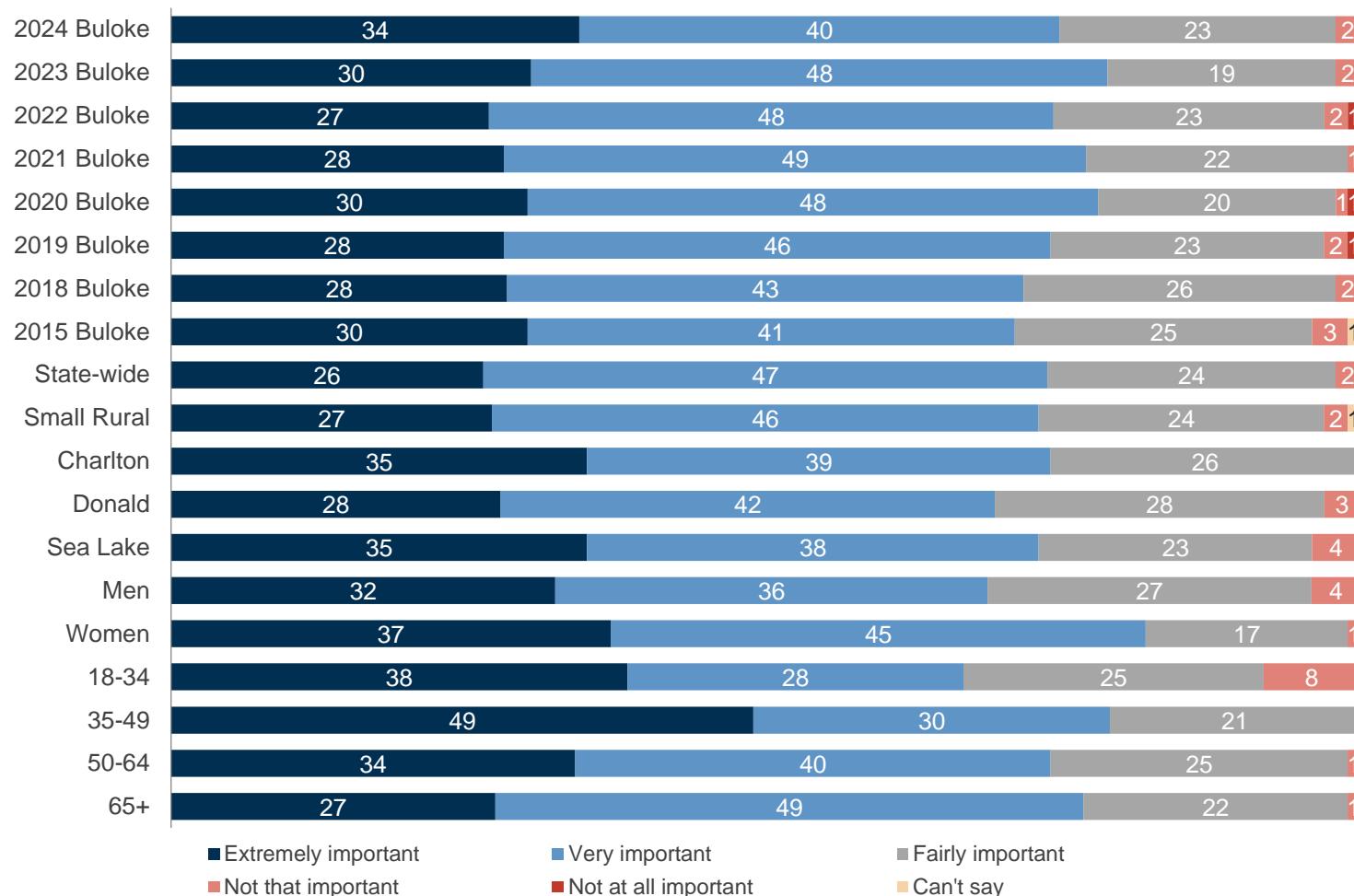
Q1 Firstly, how important should 'The appearance of public areas' be as a responsibility for Council?



The appearance of public areas importance



2024 public areas importance (%)





The appearance of public areas performance



2024 public areas performance (index scores)

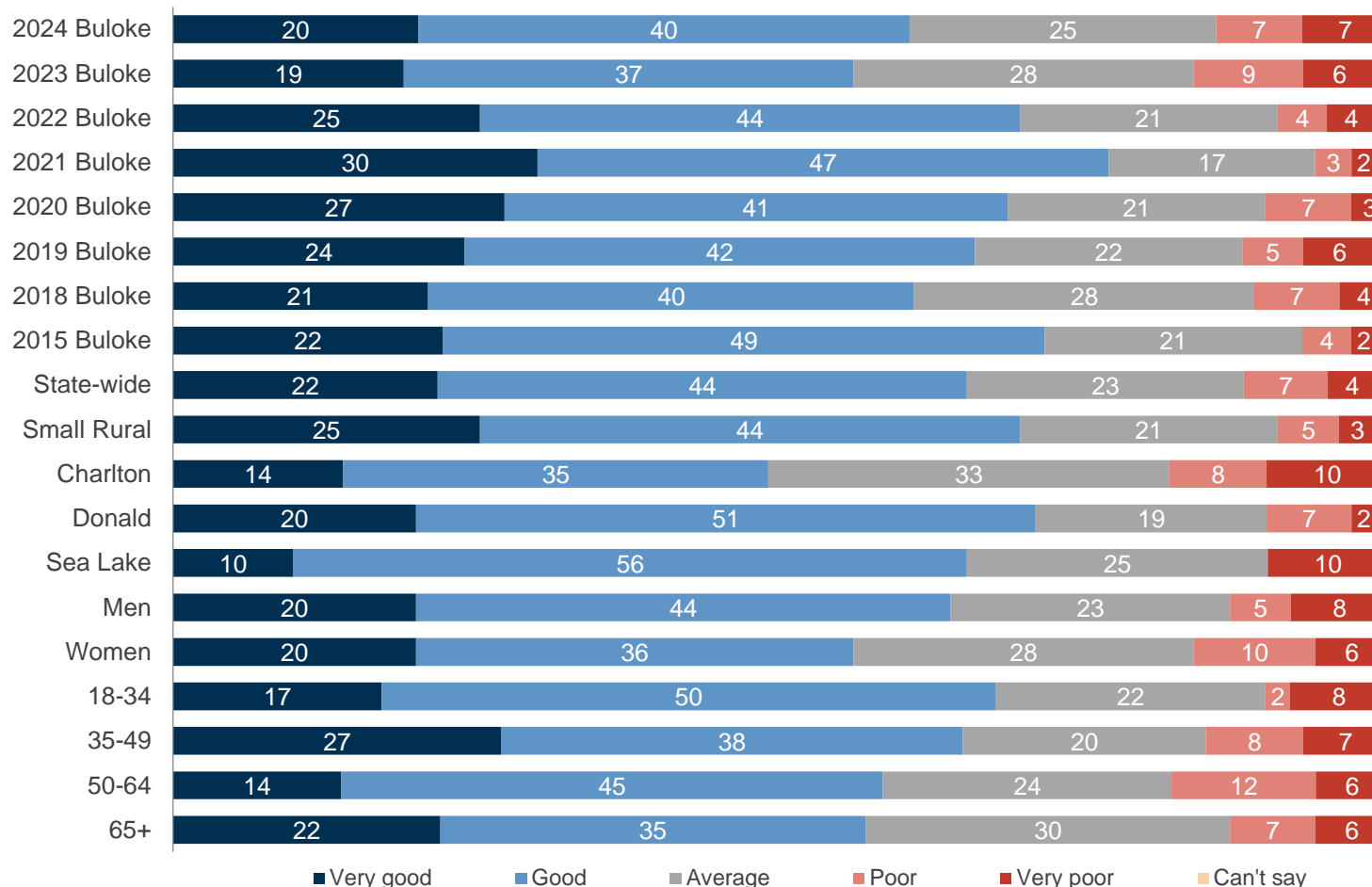
		2023	2022	2021	2020	2019	2018	2017	2016	2015
Small Rural	71▲	71	73	75	72	73	72	74	73	74
Donald	70▲	64	72	76	71	70	62	n/a	n/a	n/a
State-wide	68▲	67	71	73	72	72	71	71	71	72
35-49	68	65	68	75	68	55	70	n/a	n/a	66
18-34	66	61	73	80	72	72	62	n/a	n/a	78
Men	66	64	71	75	71	67	65	n/a	n/a	68
Buloke	65	64	71	75	71	68	67	n/a	n/a	71
65+	65	65	75	76	74	72	69	n/a	n/a	73
Women	64	63	70	76	71	69	69	n/a	n/a	74
Sea Lake	64	52	67	68	64	58	60	n/a	n/a	n/a
50-64	63	62	64	71	67	69	65	n/a	n/a	69
Charlton	58▼	65	72	78	75	70	67	n/a	n/a	n/a



The appearance of public areas performance



2024 public areas performance (%)





Art centres and libraries performance



2024 art centres and libraries performance (index scores)

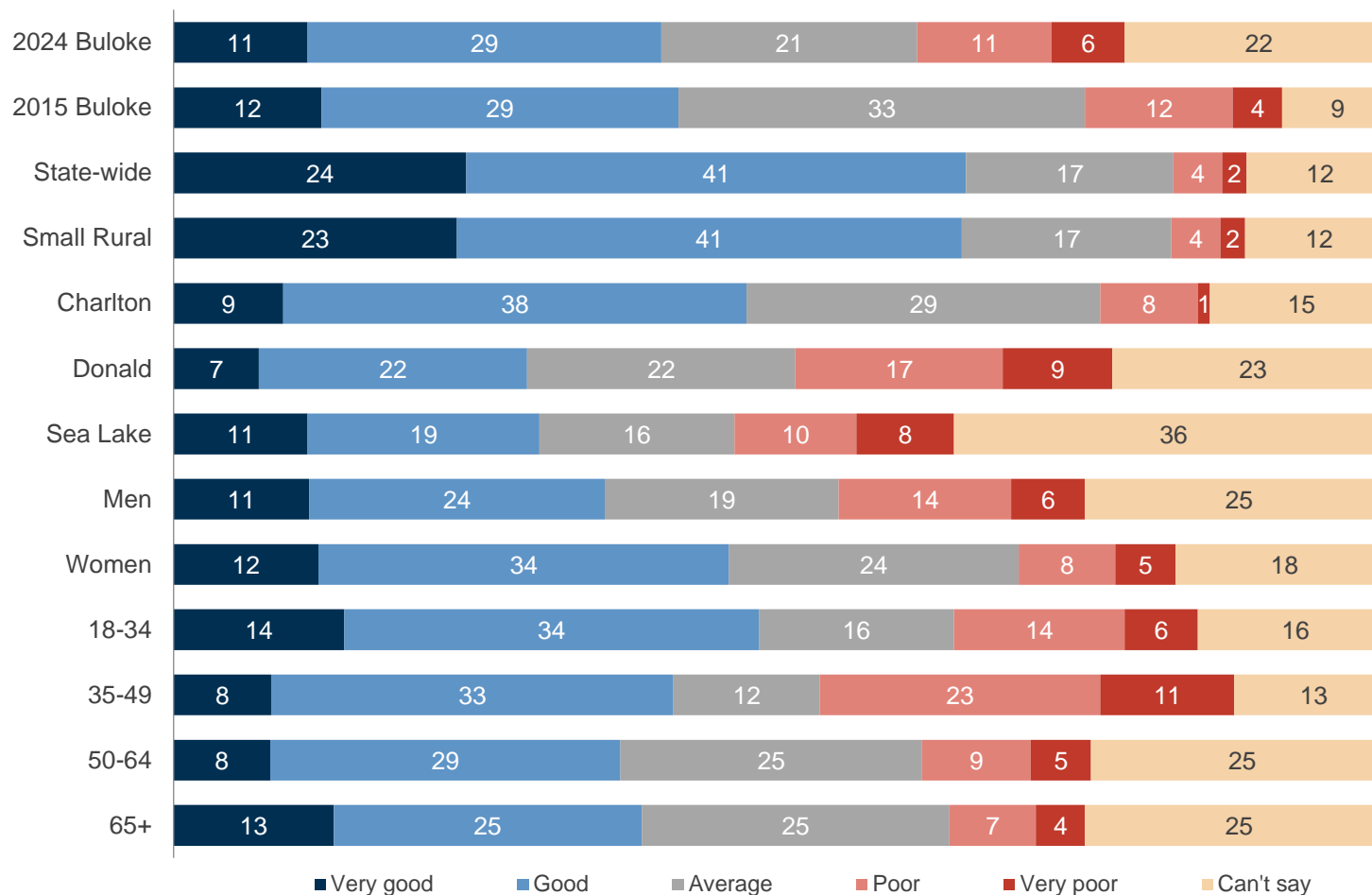
		2023	2022	2021	2020	2019	2018	2017	2016	2015
State-wide	73▲	73	73	73	74	74	74	73	72	73
Small Rural	73▲	73	71	72	74	74	73	72	71	69
Charlton	64	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Women	62	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	60
65+	62	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	67
18-34	61	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	54
Buloke	59	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	59
50-64	58	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	56
Men	56	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	58
Sea Lake	56	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
35-49	51	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	55
Donald	50▼	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a



Art centres and libraries performance



2024 art centres and libraries performance (%)





Waste management importance



2024 waste management importance (index scores)

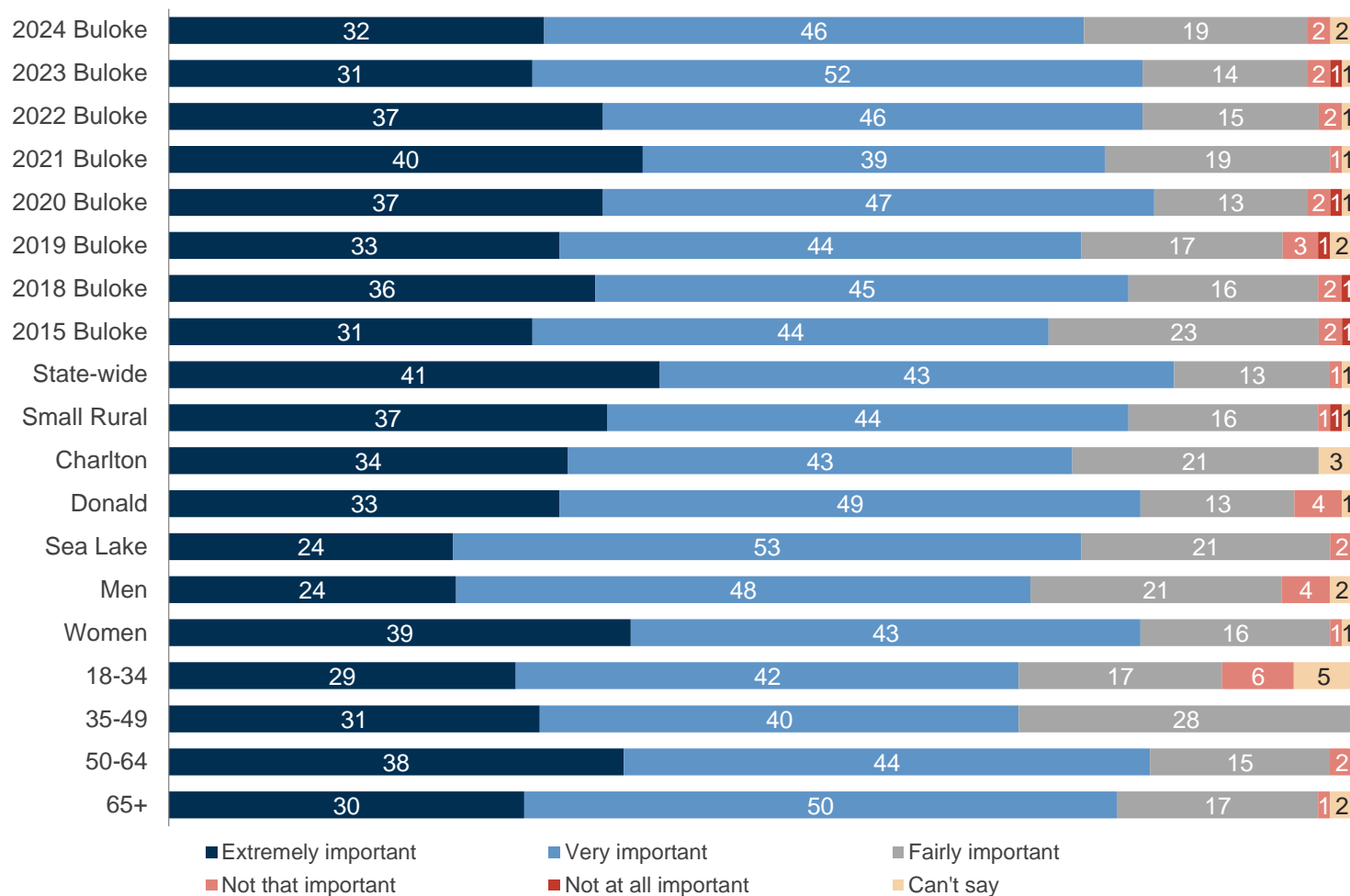
		2023	2022	2021	2020	2019	2018	2017	2016	2015
State-wide	81▲	81	82	82	82	81	81	79	80	79
Women	80	80	84	83	84	79	82	n/a	n/a	79
50-64	80	79	79	80	77	72	78	n/a	n/a	76
Small Rural	79	78	80	80	79	79	78	76	79	77
Charlton	78	80	79	81	78	81	80	n/a	n/a	n/a
Donald	78	78	79	82	80	77	78	n/a	n/a	n/a
65+	77	78	80	80	79	78	79	n/a	n/a	76
Buloke	77	78	79	80	80	77	78	n/a	n/a	76
35-49	76	74	76	82	84	80	79	n/a	n/a	78
Sea Lake	75	76	81	78	82	70	79	n/a	n/a	n/a
18-34	75	80	83	74	81	77	78	n/a	n/a	72
Men	74	76	75	76	75	74	75	n/a	n/a	73



Waste management importance



2024 waste management importance (%)





Waste management performance



2024 waste management performance (index scores)

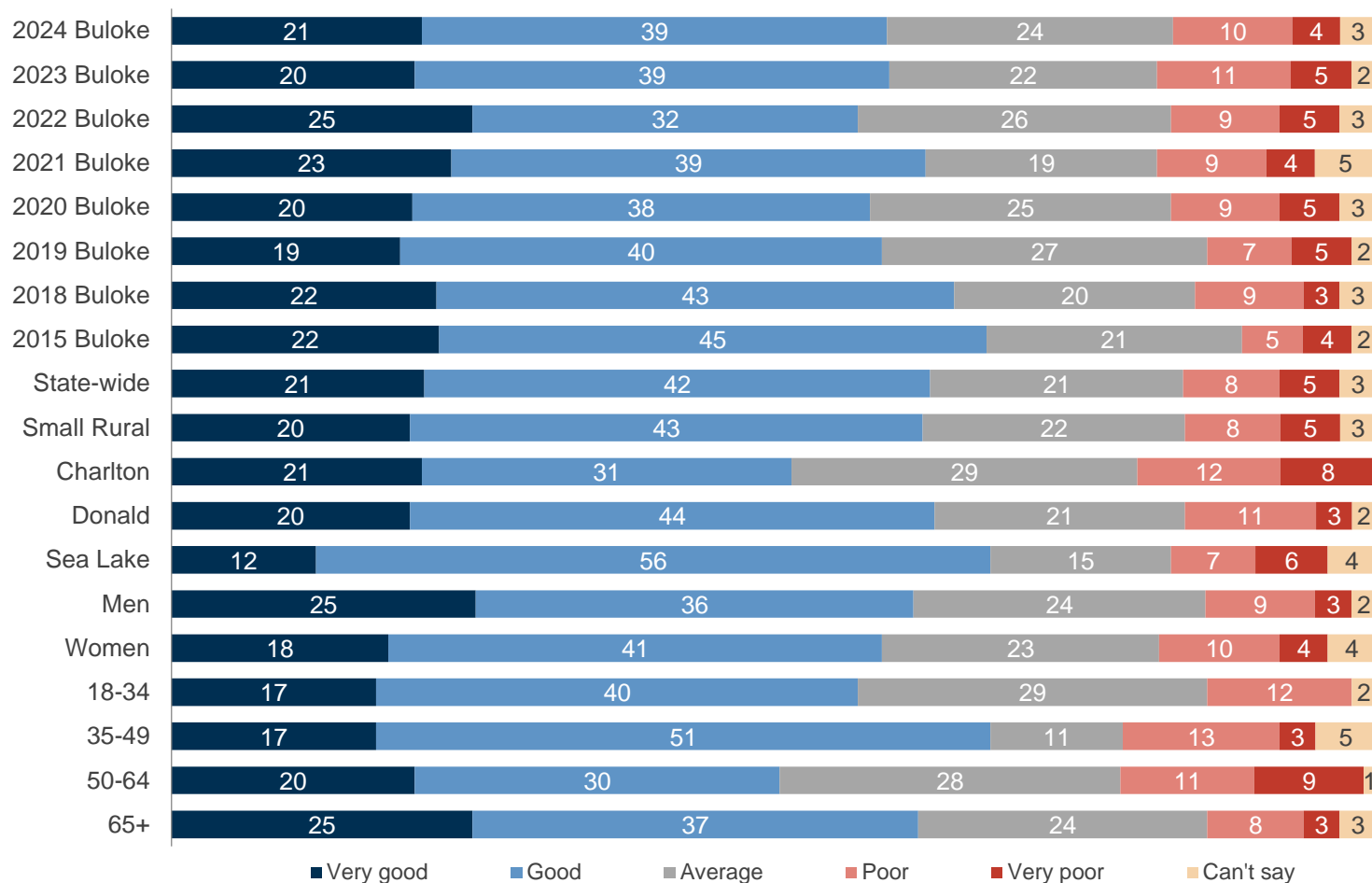
		2023	2022	2021	2020	2019	2018	2017	2016	2015
65+	69	70	73	75	72	73	70	n/a	n/a	76
Men	68	65	67	70	64	66	68	n/a	n/a	68
35-49	68	61	66	60	62	58	74	n/a	n/a	65
Donald	67	63	67	69	66	67	65	n/a	n/a	n/a
Small Rural	67	66	68	68	64	66	69	70	69	71
State-wide	67	66	68	69	65	68	70	71	70	72
Buloke	66	65	67	68	65	65	69	n/a	n/a	70
Sea Lake	66	72	72	70	64	69	73	n/a	n/a	n/a
18-34	66	63	69	67	63	67	74	n/a	n/a	70
Women	65	64	67	65	67	65	69	n/a	n/a	71
Charlton	61	62	62	66	63	61	71	n/a	n/a	n/a
50-64	60	59	57	59	59	60	59	n/a	n/a	65



Waste management performance



2024 waste management performance (%)



Business and community development and tourism importance



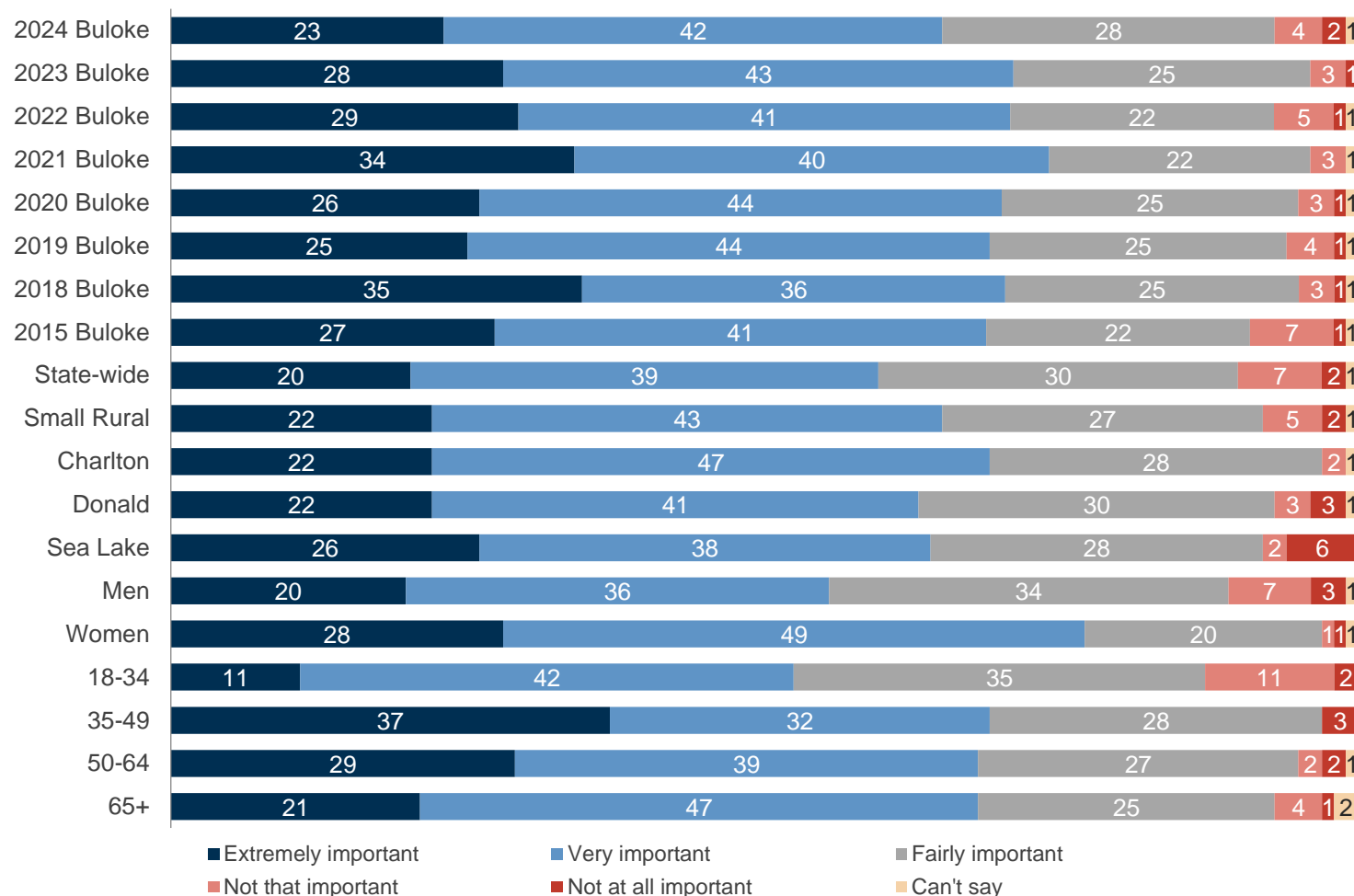
2024 business/development/tourism importance (index scores)

		2023	2022	2021	2020	2019	2018	2017	2016	2015
Women	76▲	74	77	78	76	74	78	n/a	n/a	76
35-49	75	79	72	81	78	77	78	n/a	n/a	72
50-64	73	74	73	75	73	72	75	n/a	n/a	75
Charlton	72	72	69	78	76	75	78	n/a	n/a	n/a
65+	71	73	70	75	70	71	74	n/a	n/a	69
Buloke	70	73	73	76	73	72	76	n/a	n/a	72
Small Rural	70	71	72	74	74	71	71	72	71	70
Donald	69	74	73	78	71	75	77	n/a	n/a	n/a
Sea Lake	69	73	67	75	75	68	79	n/a	n/a	n/a
State-wide	67▼	67	69	70	67	65	66	67	67	67
Men	66▼	73	69	75	69	70	74	n/a	n/a	67
18-34	62▼	69	82	77	70	71	78	n/a	n/a	71

Business and community development and tourism importance



2024 business/development/tourism importance (%)



Business and community development and tourism performance



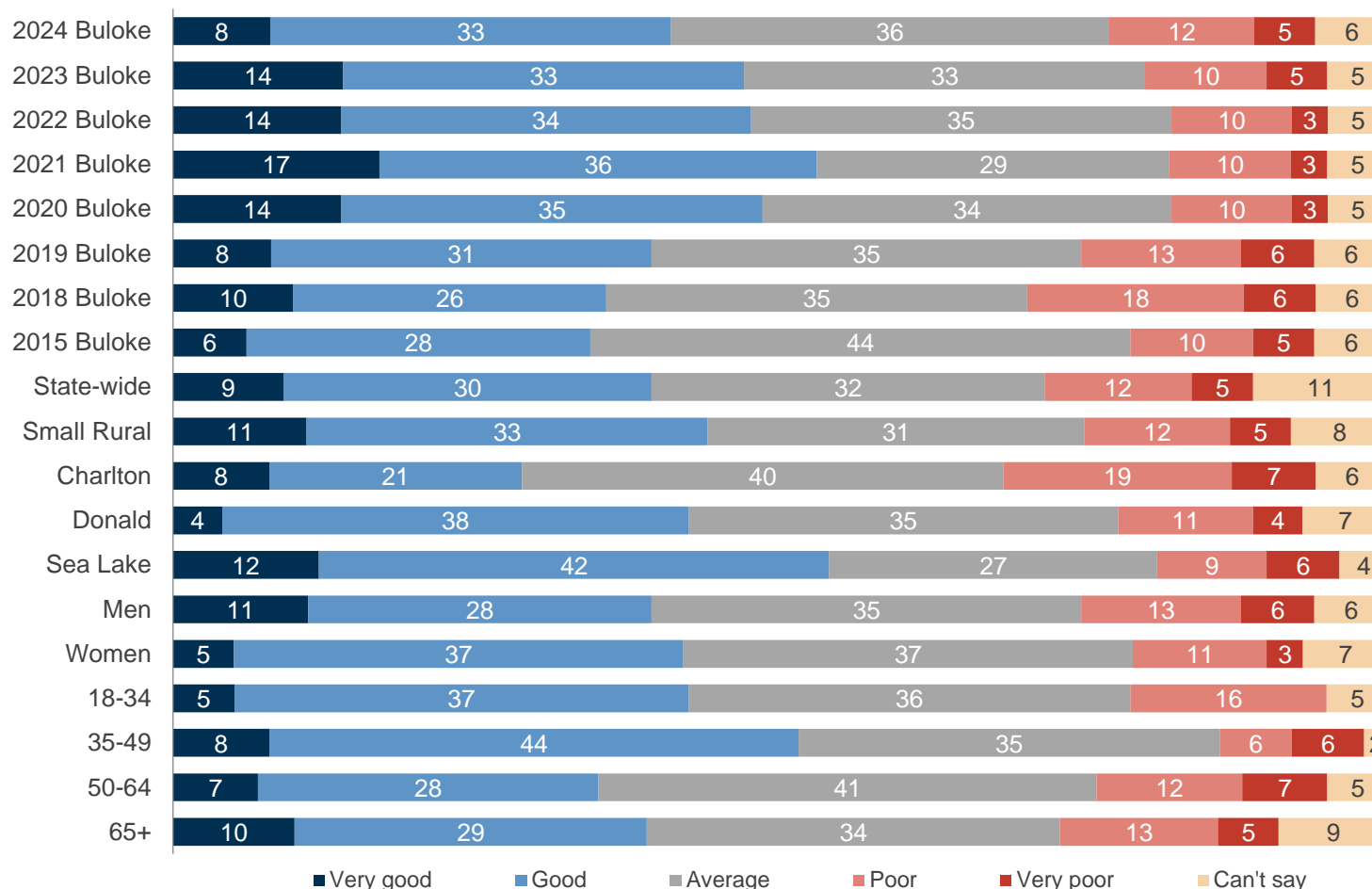
2024 business/development/tourism performance (index scores)

		2023	2022	2021	2020	2019	2018	2017	2016	2015
Sea Lake	62	64	60	68	73	61	60	n/a	n/a	n/a
35-49	61	66	60	59	63	52	60	n/a	n/a	53
Small Rural	59	61	63	62	58	59	59	64	61	63
18-34	58	61	67	67	69	53	54	n/a	n/a	57
Women	58	63	62	69	65	57	56	n/a	n/a	58
Buloke	57	61	62	64	62	56	54	n/a	n/a	56
State-wide	57	59	60	61	59	61	60	61	60	61
65+	57	62	65	69	66	60	56	n/a	n/a	60
Donald	57	58	60	62	61	56	53	n/a	n/a	n/a
Men	57	58	62	60	59	55	52	n/a	n/a	54
50-64	54	53	56	56	52	56	47	n/a	n/a	52
Charlton	51	59	57	65	61	54	46	n/a	n/a	n/a

Business and community development and tourism performance



2024 business/development/tourism performance (%)





Planning and building permits importance



2024 planning and building permits importance (index scores)

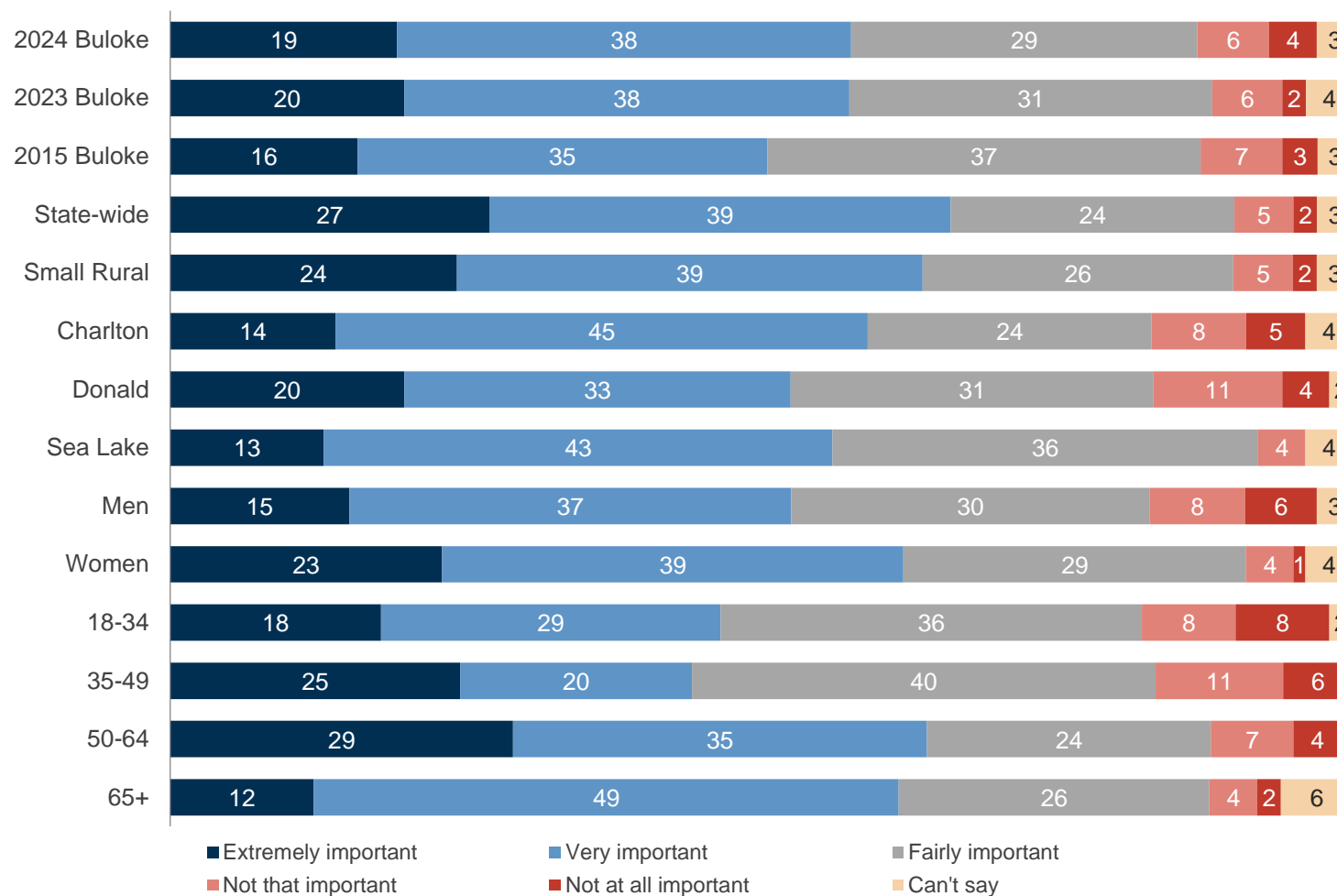
		2023	2022	2021	2020	2019	2018	2017	2016	2015
State-wide	72▲	72	73	73	71	71	71	72	71	71
Small Rural	70▲	71	73	71	68	70	68	68	71	70
Women	70▲	71	n/a	n/a	n/a	n/a	n/a	n/a	n/a	67
50-64	70	72	n/a	n/a	n/a	n/a	n/a	n/a	n/a	60
65+	67	66	n/a	n/a	n/a	n/a	n/a	n/a	n/a	67
Sea Lake	67	72	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Buloke	66	67	n/a	n/a	n/a	n/a	n/a	n/a	n/a	64
Charlton	64	69	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Donald	64	63	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Men	62	64	n/a	n/a	n/a	n/a	n/a	n/a	n/a	61
35-49	62	70	n/a	n/a	n/a	n/a	n/a	n/a	n/a	63
18-34	61	63	n/a	n/a	n/a	n/a	n/a	n/a	n/a	66



Planning and building permits importance



2024 planning and building permits importance (%)





Planning and building permits performance



2024 planning and building permits performance (index scores)

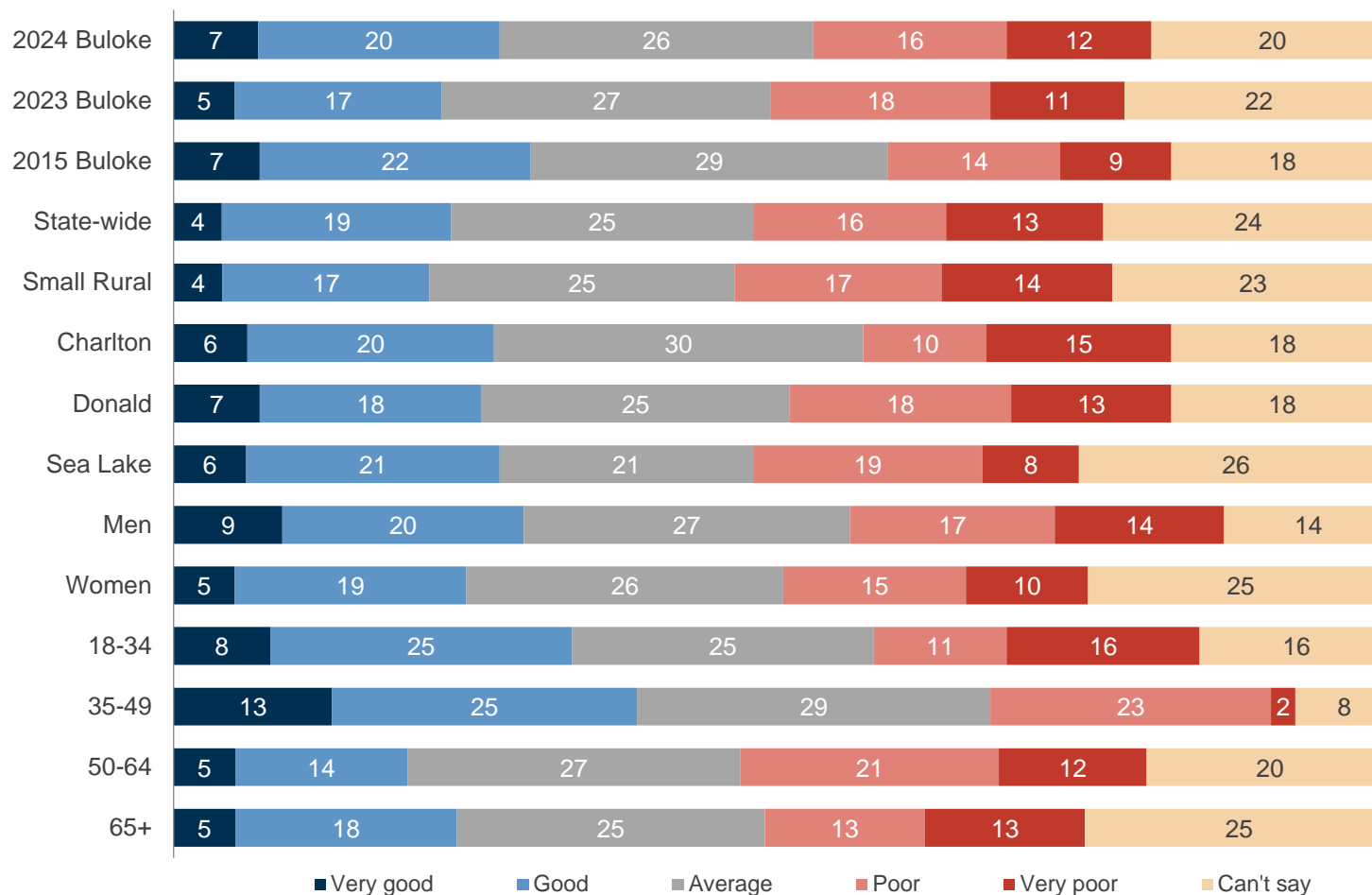
		2023	2022	2021	2020	2019	2018	2017	2016	2015
35-49	56▲	46	n/a	n/a	n/a	n/a	n/a	n/a	n/a	50
18-34	50	46	n/a	n/a	n/a	n/a	n/a	n/a	n/a	57
Sea Lake	50	47	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Buloke	48	46	n/a	n/a	n/a	n/a	n/a	n/a	n/a	52
Women	48	49	n/a	n/a	n/a	n/a	n/a	n/a	n/a	59
Men	48	43	n/a	n/a	n/a	n/a	n/a	n/a	n/a	46
Charlton	48	44	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Donald	47	50	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
65+	47	48	n/a	n/a	n/a	n/a	n/a	n/a	n/a	54
State-wide	45▼	47	50	51	51	52	52	51	50	54
50-64	43	40	n/a	n/a	n/a	n/a	n/a	n/a	n/a	47
Small Rural	43▼	45	48	49	46	48	51	51	50	53



Planning and building permits performance



2024 planning and building permits performance (%)





Environmental sustainability importance



2024 environmental sustainability importance (index scores)

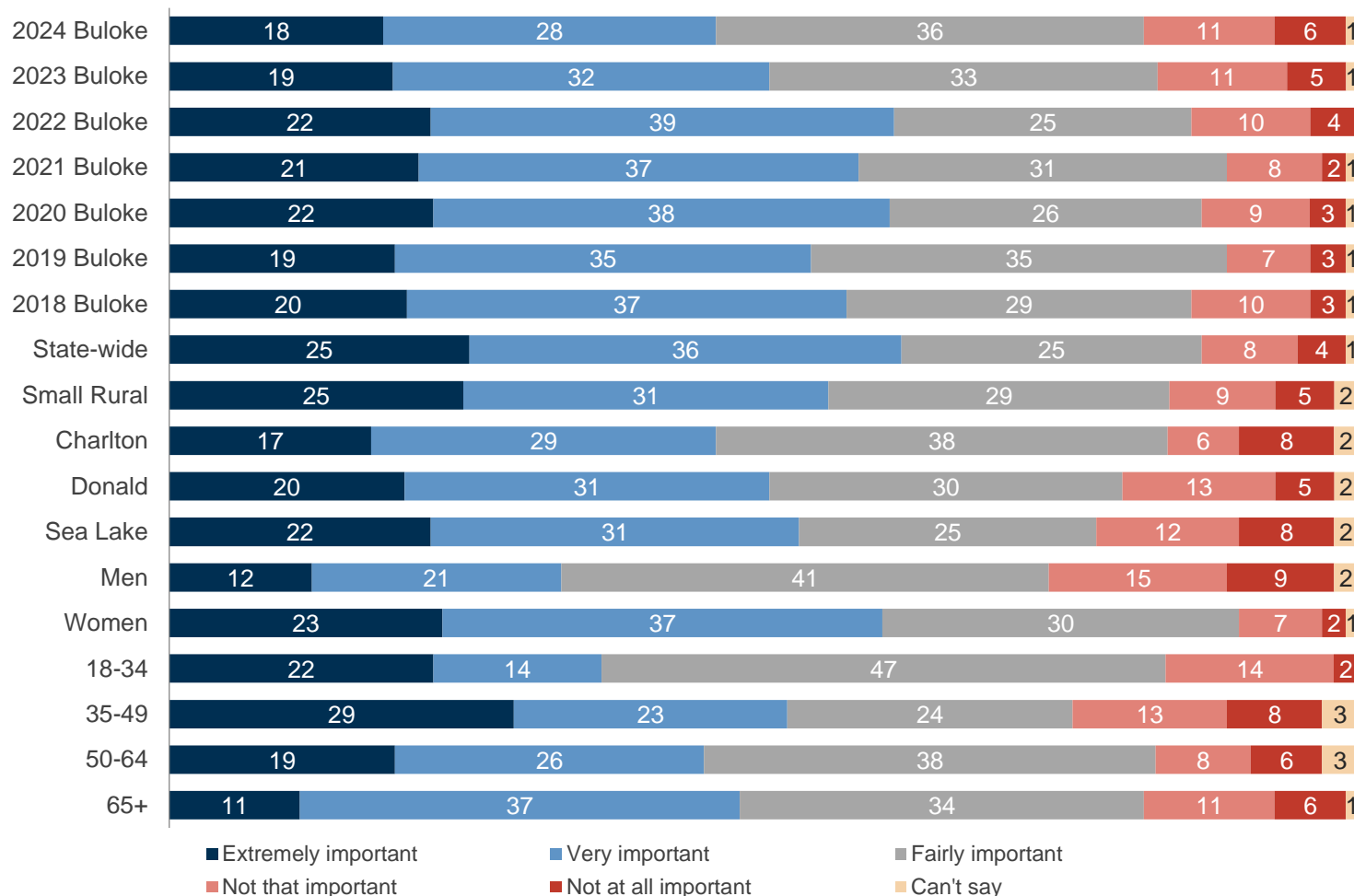
		2023	2022	2021	2020	2019	2018	2017	2016	2015
Women	69▲	70	70	73	72	71	71	n/a	n/a	n/a
State-wide	68▲	70	73	74	74	74	73	72	73	73
Small Rural	66▲	67	70	71	70	72	70	70	74	77
35-49	63	63	68	71	69	65	72	n/a	n/a	n/a
Donald	62	62	64	65	69	63	66	n/a	n/a	n/a
Sea Lake	62	68	68	64	66	62	68	n/a	n/a	n/a
50-64	62	60	62	63	64	60	62	n/a	n/a	n/a
Charlton	61	63	67	69	62	67	66	n/a	n/a	n/a
Buloke	61	63	66	67	67	65	65	n/a	n/a	n/a
18-34	60	63	70	65	71	71	69	n/a	n/a	n/a
65+	59	63	67	68	66	66	63	n/a	n/a	n/a
Men	53▼	56	63	62	61	60	60	n/a	n/a	n/a



Environmental sustainability importance



2024 environmental sustainability importance (%)





Environmental sustainability performance



2024 environmental sustainability performance (index scores)

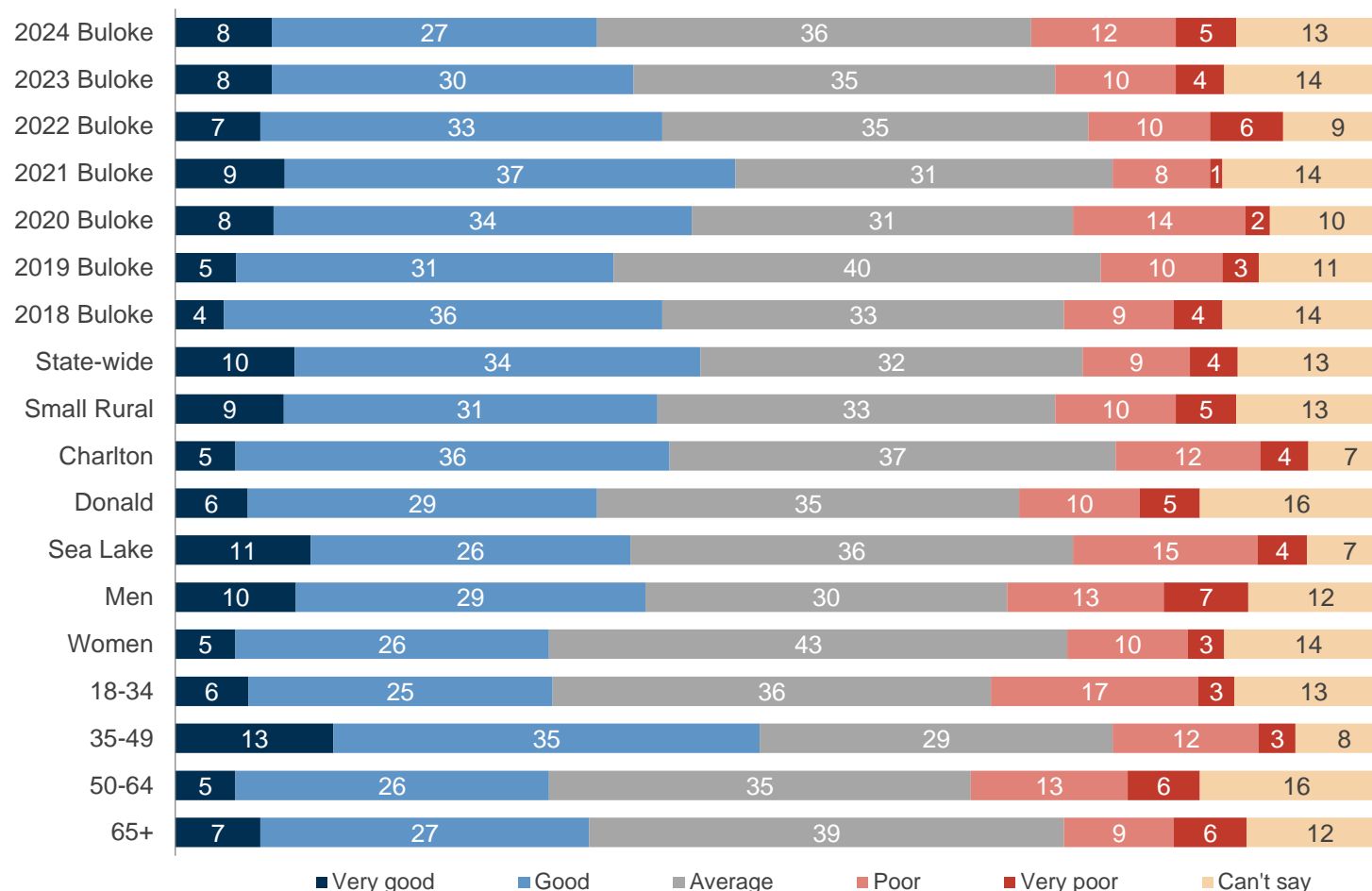
		2023	2022	2021	2020	2019	2018	2017	2016	2015
35-49	62	58	56	62	57	53	58	n/a	n/a	n/a
State-wide	60▲	60	61	62	60	62	63	64	63	64
Small Rural	59▲	59	59	61	57	59	62	63	61	63
Sea Lake	57	61	57	61	59	57	55	n/a	n/a	n/a
Charlton	57	55	60	61	61	58	55	n/a	n/a	n/a
Men	57	60	56	61	56	56	58	n/a	n/a	n/a
Donald	56	58	51	61	57	57	57	n/a	n/a	n/a
65+	56	61	62	66	64	60	61	n/a	n/a	n/a
Buloke	56	58	58	63	59	57	58	n/a	n/a	n/a
Women	56	56	60	65	63	57	58	n/a	n/a	n/a
18-34	54	56	58	58	64	56	57	n/a	n/a	n/a
50-64	53	57	52	60	51	55	54	n/a	n/a	n/a



Environmental sustainability performance



2024 environmental sustainability performance (%)





Emergency and disaster management importance



2024 emergency and disaster management importance (index scores)

		2023	2022	2021	2020	2019	2018	2017	2016	2015
Women	84▲	85	n/a	n/a	n/a	n/a	n/a	n/a	n/a	84
35-49	83	81	n/a	n/a	n/a	n/a	n/a	n/a	n/a	80
Small Rural	82	80	81	82	82	81	80	81	82	80
State-wide	80	80	81	81	80	81	81	80	80	80
Buloke	80	78	n/a	n/a	n/a	n/a	n/a	n/a	n/a	79
50-64	79	79	n/a	n/a	n/a	n/a	n/a	n/a	n/a	77
Charlton	79	83	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
18-34	79	76	n/a	n/a	n/a	n/a	n/a	n/a	n/a	82
65+	79	78	n/a	n/a	n/a	n/a	n/a	n/a	n/a	77
Donald	79	74	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Sea Lake	78	81	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Men	75▼	72	n/a	n/a	n/a	n/a	n/a	n/a	n/a	74

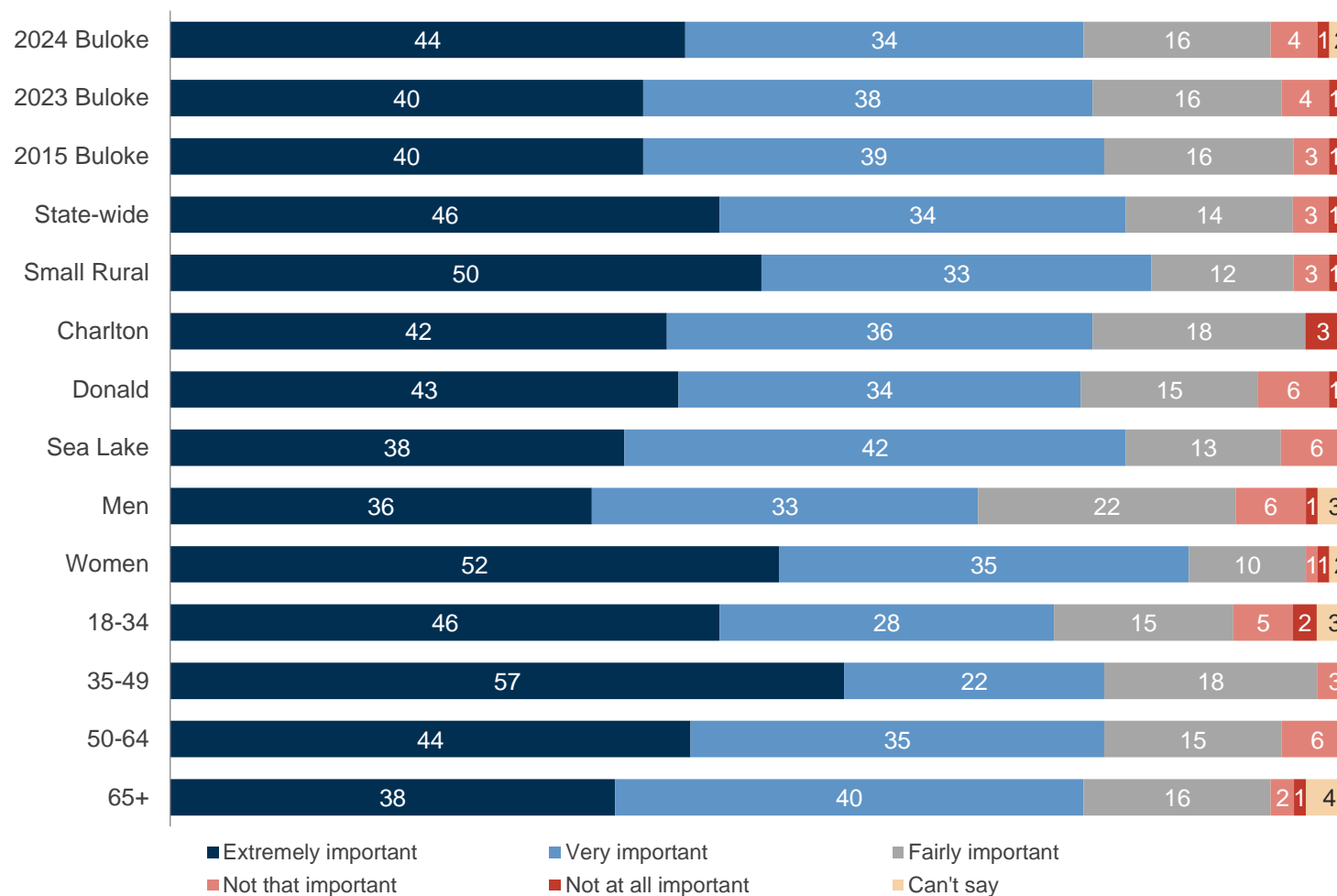
Q1 Firstly, how important should 'Emergency and disaster management' be as a responsibility for Council?



Emergency and disaster management importance



2024 emergency and disaster management importance (%)





Emergency and disaster management performance



2024 emergency and disaster management performance (index scores)

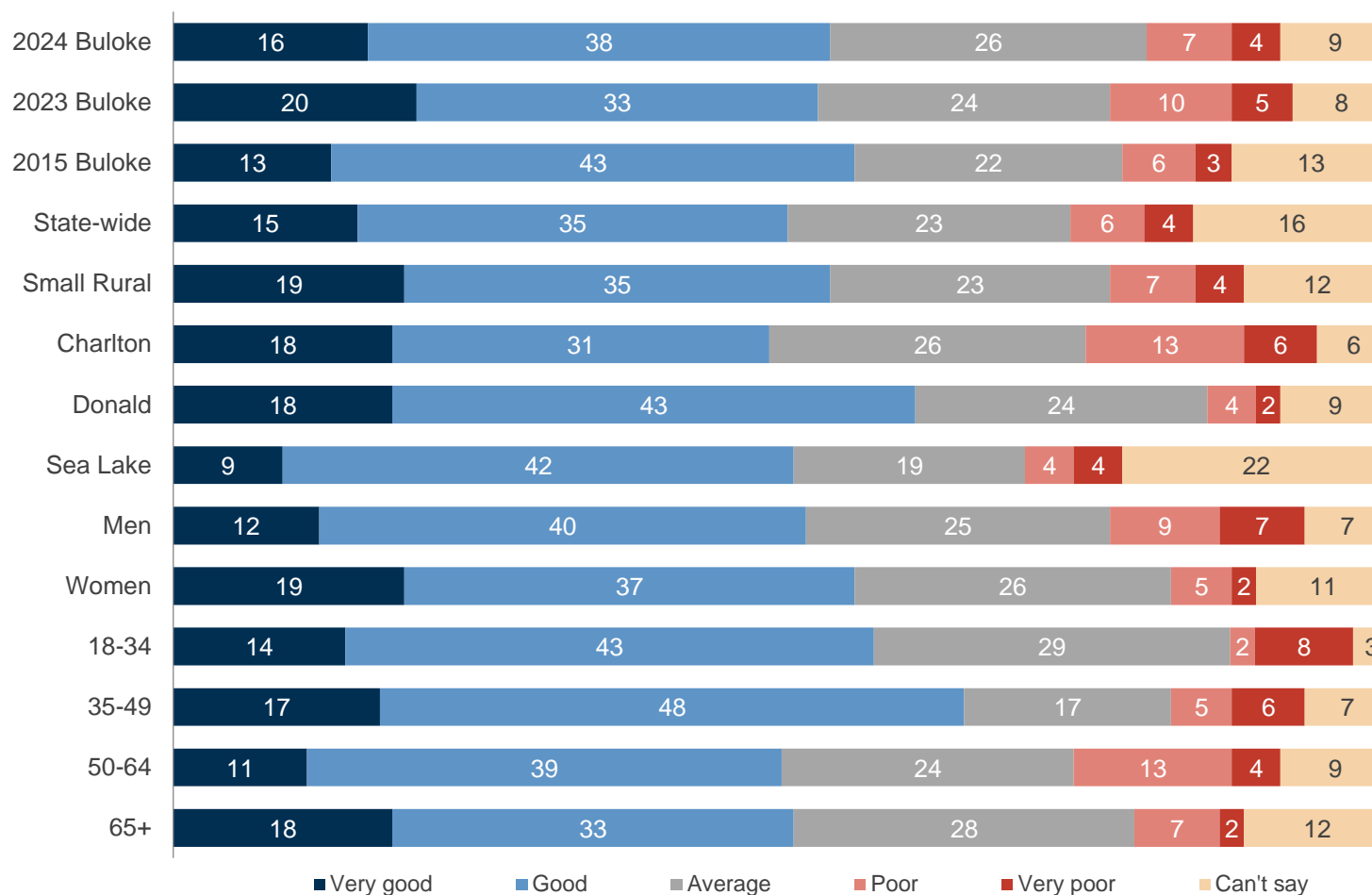
		2023	2022	2021	2020	2019	2018	2017	2016	2015
Donald	69	68	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Women	69	67	n/a	n/a	n/a	n/a	n/a	n/a	n/a	68
35-49	68	61	n/a	n/a	n/a	n/a	n/a	n/a	n/a	63
65+	66	66	n/a	n/a	n/a	n/a	n/a	n/a	n/a	71
Small Rural	66	66	68	72	70	72	72	72	71	70
Sea Lake	66	65	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
State-wide	65	65	66	71	68	72	71	70	69	70
Buloke	65	64	n/a	n/a	n/a	n/a	n/a	n/a	n/a	66
18-34	63	64	n/a	n/a	n/a	n/a	n/a	n/a	n/a	72
Men	61	62	n/a	n/a	n/a	n/a	n/a	n/a	n/a	65
50-64	61	65	n/a	n/a	n/a	n/a	n/a	n/a	n/a	59
Charlton	61	61	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a



Emergency and disaster management performance



2024 emergency and disaster management performance (%)





Maintenance of unsealed roads in your area importance



2024 unsealed roads importance (index scores)

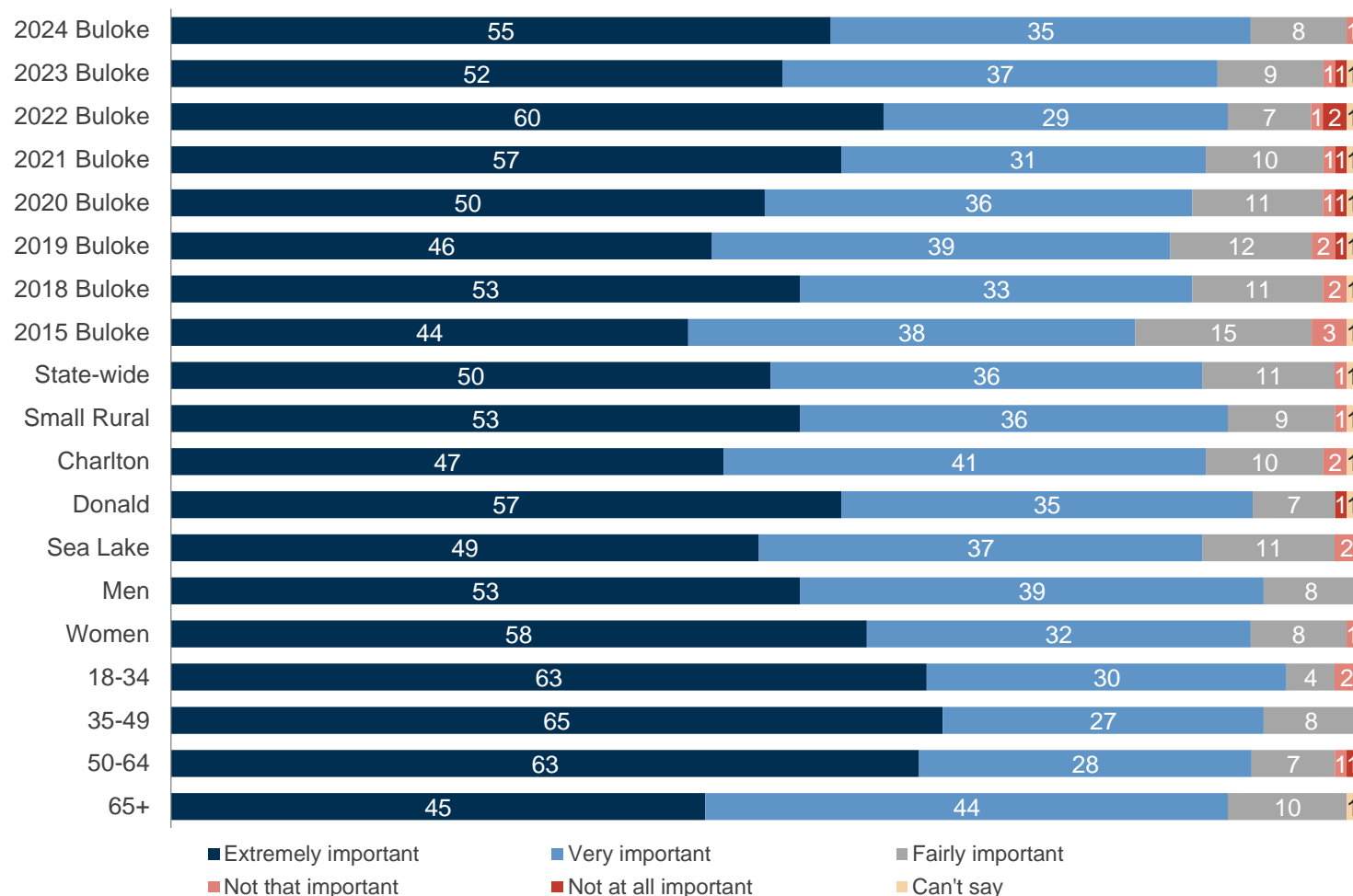
		2023	2022	2021	2020	2019	2018	2017	2016	2015
35-49	89	86	89	91	90	80	87	n/a	n/a	79
18-34	89	83	91	87	75	88	86	n/a	n/a	83
50-64	88	88	85	88	85	81	86	n/a	n/a	83
Women	87	85	90	89	87	85	85	n/a	n/a	83
Donald	87	84	84	86	83	82	88	n/a	n/a	n/a
Buloke	86	85	86	86	84	82	85	n/a	n/a	81
Men	86	84	83	83	81	78	84	n/a	n/a	78
Small Rural	85	85	85	84	83	82	84	81	81	82
State-wide	84▼	83	83	81	80	80	80	79	79	78
65+	84	84	83	82	84	80	82	n/a	n/a	78
Sea Lake	83	79	83	88	89	81	82	n/a	n/a	n/a
Charlton	83	86	86	83	79	80	81	n/a	n/a	n/a

Q1 Firstly, how important should 'Maintenance of unsealed roads in your area' be as a responsibility for Council?

Maintenance of unsealed roads in your area importance















2024 unsealed roads importance (%)



Maintenance of unsealed roads in your area performance



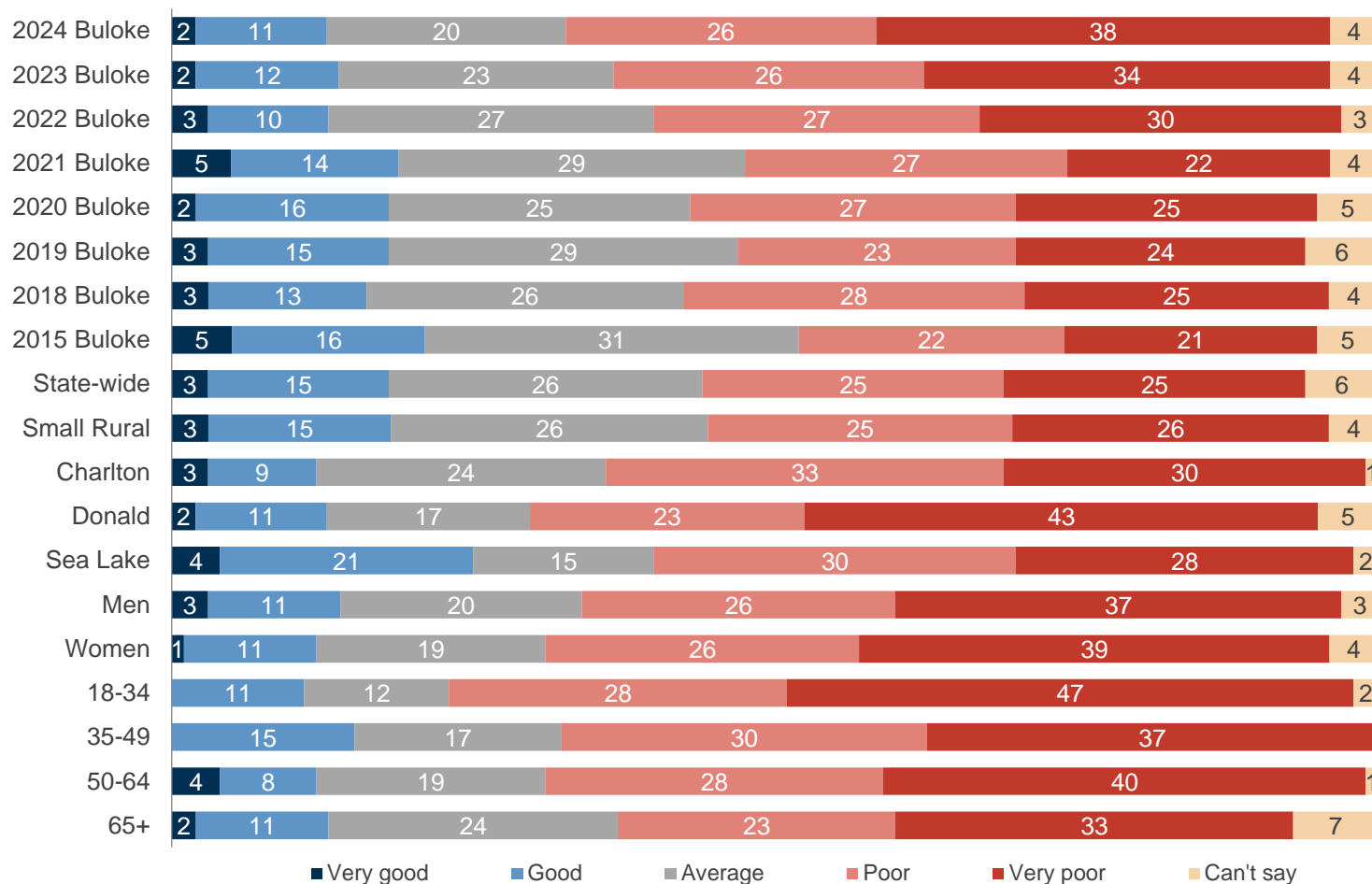
2024 unsealed roads performance (index scores)

		2023	2022	2021	2020	2019	2018	2017	2016	2015
State-wide	 36▲	37	41	45	44	44	43	44	43	45
Small Rural	 35▲	38	42	44	43	43	40	43	44	45
Sea Lake	 35	28	40	35	29	36	37	n/a	n/a	n/a
Charlton	 30	36	37	47	41	40	38	n/a	n/a	n/a
65+	 30	34	36	43	39	44	38	n/a	n/a	44
Men	 28	29	31	40	35	38	35	n/a	n/a	38
35-49	 28	28	26	26	31	33	35	n/a	n/a	37
Buloke	 27	30	31	38	35	37	35	n/a	n/a	40
50-64	 27	29	29	36	33	32	31	n/a	n/a	36
Women	 27	31	32	36	36	35	35	n/a	n/a	42
Donald	 25	28	29	37	34	32	30	n/a	n/a	n/a
18-34	 21	21	30	41	37	34	36	n/a	n/a	41

Maintenance of unsealed roads in your area performance



2024 unsealed roads performance (%)



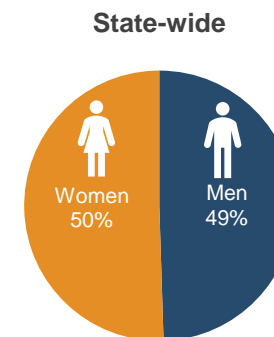
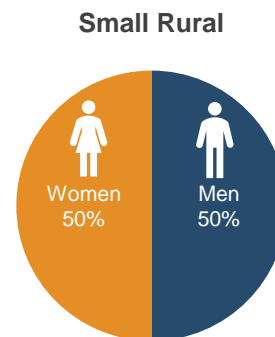
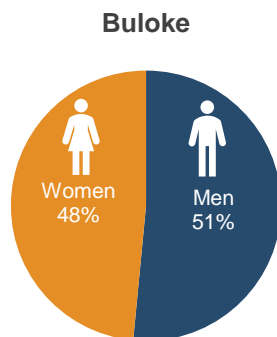


Detailed demographics

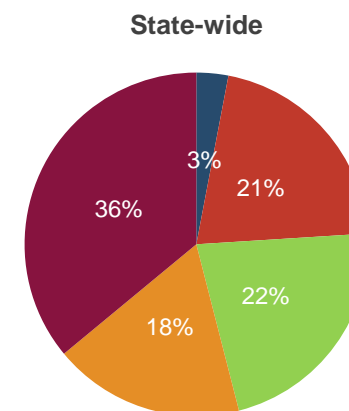
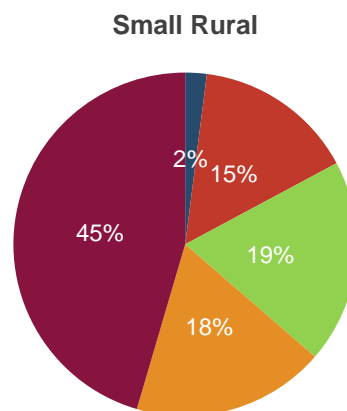
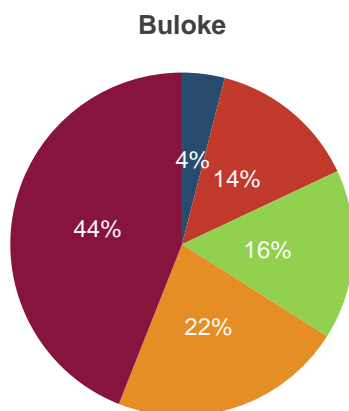


Gender and age profile

2024 gender



2024 age



■ 18-24 ■ 25-34 ■ 35-49 ■ 50-64 ■ 65+


■ 18-24 ■ 25-34 ■ 35-49 ■ 50-64 ■ 65+

■ 18-24 ■ 25-34 ■ 35-49 ■ 50-64 ■ 65+

S3. How would you describe your gender? / S4. To which of the following age groups do you belong?

Base: All respondents. Councils asked State-wide: 62 Councils asked group: 19

<1% of respondents in each of Buloke Shire Council, Small Rural and State-wide did not describe their gender as male or female



Appendix A: Index scores, margins of error and significant differences

Appendix A: Index Scores



Index Scores

Many questions ask respondents to rate council performance on a five-point scale, for example, from ‘very good’ to ‘very poor’, with ‘can’t say’ also a possible response category. To facilitate ease of reporting and comparison of results over time, starting from the 2012 survey and measured against the state-wide result and the council group, an ‘Index Score’ has been calculated for such measures.

The Index Score is calculated and represented as a score out of 100 (on a 0 to 100 scale), with ‘can’t say’ responses excluded from the analysis. The ‘% RESULT’ for each scale category is multiplied by the ‘INDEX FACTOR’. This produces an ‘INDEX VALUE’ for each category, which are then summed to produce the ‘INDEX SCORE’, equating to ‘60’ in the following example.

Similarly, an Index Score has been calculated for the Core question ‘Performance direction in the last 12 months’, based on the following scale for each performance measure category, with ‘Can’t say’ responses excluded from the calculation.

SCALE CATEGORIES	% RESULT	INDEX FACTOR	INDEX VALUE
Very good	9%	100	9
Good	40%	75	30
Average	37%	50	19
Poor	9%	25	2
Very poor	4%	0	0
Can’t say	1%	--	INDEX SCORE 60

SCALE CATEGORIES	% RESULT	INDEX FACTOR	INDEX VALUE
Improved	36%	100	36
Stayed the same	40%	50	20
Deteriorated	23%	0	0
Can’t say	1%	--	INDEX SCORE 56

Please note that the horizontal (x) axis of the index score bar charts in this report is displayed on a scale from 20 to 100.

Appendix A: Margins of error



The sample size for the 2024 State-wide Local Government Community Satisfaction Survey for Buloke Shire Council was n=401. Unless otherwise noted, this is the total sample base for all reported charts and tables.

The maximum margin of error on a sample of approximately n=401 interviews is +/-4.7% at the 95% confidence level for results around 50%. Margins of error will be larger for any sub-samples. As an example, a result of 50% can be read confidently as falling midway in the range 45.3% - 54.7%.

Maximum margins of error are listed in the table below, based on a population of 5,000 people aged 18 years or over for Buloke Shire Council, according to ABS estimates.

Demographic	Actual survey sample size	Weighted base	Maximum margin of error at 95% confidence interval
Buloke Shire Council	401	400	+/-4.7
Men	188	205	+/-7.0
Women	211	192	+/-6.6
Charlton	89	85	+/-10.4
Donald	117	120	+/-9.0
Sea Lake	42	43	+/-15.2
18-34 years	38	74	+/-16.1
35-49 years	40	62	+/-15.6
50-64 years	106	86	+/-9.5
65+ years	217	177	+/-6.5

Appendix A: Index score significant difference calculation



The test applied to the Indexes was an Independent Mean Test, as follows:

$$Z \text{ Score} = (\$1 - \$2) / \text{Sqrt} ((\$5^2 / \$3) + (\$6^2 / \$4))$$

Where:

- \$1 = Index Score 1
- \$2 = Index Score 2
- \$3 = unweighted sample count 1
- \$4 = unweighted sample count 2
- \$5 = standard deviation 1
- \$6 = standard deviation 2

All figures can be sourced from the detailed cross tabulations.

The test was applied at the 95% confidence interval, so if the Z Score was greater than +/- 1.954 the scores are significantly different.



Appendix B: Further project information

Appendix B: Further information



Further information about the report and explanations about the State-wide Local Government Community Satisfaction Survey can be found in this section including:

- Background and objectives
- Analysis and reporting
- Glossary of terms

Detailed survey tabulations

Detailed survey tabulations are available in supplied Excel file.

Contacts

For further queries about the conduct and reporting of the 2024 State-wide Local Government Community Satisfaction Survey, please contact JWS Research on

(03) 8685 8555 or via email:

admin@jwsresearch.com

Appendix B: Survey methodology and sampling



The 2024 results are compared with previous years, as detailed below:

- 2023, n=400 completed interviews, conducted in the period of 27th January – 19th March.
- 2022, n=400 completed interviews, conducted in the period of 27th January – 24th March.
- 2021, n=400 completed interviews, conducted in the period of 28th January – 18th March.
- 2020, n=400 completed interviews, conducted in the period of 30th January – 22nd March.
- 2019, n=400 completed interviews, conducted in the period of 1st February – 30th March.
- 2018, n=400 completed interviews, conducted in the period of 1st February – 30th March.
- 2017, n=400 completed interviews, conducted in the period of 1st February – 30th March.
- 2016, n=400 completed interviews, conducted in the period of 1st February – 30th March.
- 2015, n=400 completed interviews, conducted in the period of 1st February – 30th March.

Minimum quotas of gender within age groups were applied during the fieldwork phase. Post-survey weighting was then conducted to ensure accurate representation of the age and gender profile of the Buloke Shire Council area.

Any variation of +/-1% between individual results and net scores in this report or the detailed survey tabulations is due to rounding. In reporting, ‘—’ denotes not mentioned and ‘0%’ denotes mentioned by less than 1% of respondents. ‘Net’ scores refer to two or more response categories being combined into one category for simplicity of reporting.

This survey was conducted by Computer Assisted Telephone Interviewing (CATI) as a representative random probability survey of residents aged 18+ years in Buloke Shire Council.

Survey sample matched to the demographic profile of Buloke Shire Council as determined by the most recent ABS population estimates was purchased from an accredited supplier of publicly available phone records, including up to 60% mobile phone numbers to cater to the diversity of residents within Buloke Shire Council, particularly younger people.

A total of n=401 completed interviews were achieved in Buloke Shire Council. Survey fieldwork was conducted in the period of 29th January – 18th March, 2024.

Appendix B: Analysis and reporting



All participating councils are listed in the State-wide report published on the DGS website. In 2024, 62 of the 79 Councils throughout Victoria participated in this survey. For consistency of analysis and reporting across all projects, Local Government Victoria has aligned its presentation of data to use standard council groupings. Accordingly, the council reports for the community satisfaction survey provide analysis using these standard council groupings. Please note that councils participating across 2012-2024 vary slightly.

Council Groups

Buloke Shire Council is classified as a Small Rural council according to the following classification list:

- Metropolitan, Interface, Regional Centres, Large Rural & Small Rural.

Councils participating in the Small Rural group are:

- Alpine, Ararat, Benalla, Buloke, Central Goldfields, Gannawarra, Hepburn, Hindmarsh, Indigo, Loddon, Mansfield, Murrindindi, Northern Grampians, Pyrenees, Queenscliffe, Strathbogie, West Wimmera and Yarriambiack.

Wherever appropriate, results for Buloke Shire Council for this 2024 State-wide Local Government Community Satisfaction Survey have been compared against other participating councils in the Small Rural group and on a state-wide basis. Please note that council groupings changed for 2015, and as such comparisons to council group results before that time can not be made within the reported charts.

Appendix B: Core, optional and tailored questions



Core, optional and tailored questions

Over and above necessary geographic and demographic questions required to ensure sample representativeness, a base set of questions for the 2024 State-wide Local Government Community Satisfaction Survey was designated as 'Core' and therefore compulsory inclusions for all participating Councils.

These core questions comprised:

- Overall performance last 12 months (Overall performance)
- Value for money in services and infrastructure (Value for money)
- Contact in last 12 months (Contact)
- Rating of contact (Customer service)
- Overall council direction last 12 months (Council direction)
- Community consultation and engagement (Consultation)
- Decisions made in the interest of the community (Making community decisions)
- Condition of sealed local roads (Sealed local roads)
- Waste management

Reporting of results for these core questions can always be compared against other participating councils in the council group and against all participating councils state-wide. Alternatively, some questions in the 2024 State-wide Local Government Community Satisfaction Survey were optional. Councils also had the ability to ask tailored questions specific only to their council.

Appendix B: Analysis and reporting



Reporting

Every council that participated in the 2024 State-wide Local Government Community Satisfaction Survey receives a customised report. In addition, the State government is supplied with this State-wide summary report of the aggregate results of 'Core' and 'Optional' questions asked across all council areas surveyed, which is available at:

<https://www.localgovernment.vic.gov.au/our-programs/council-community-satisfaction-survey>

Tailored questions commissioned by individual councils are reported only to the commissioning council and not otherwise shared unless by express written approval of the commissioning council.

Appendix B: Glossary of terms



Core questions: Compulsory inclusion questions for all councils participating in the CSS.

CSS: 2024 Victorian Local Government Community Satisfaction Survey.

Council group: One of five classified groups, comprising: metropolitan, interface, regional centres, large rural and small rural.

Council group average: The average result for all participating councils in the council group.

Highest / lowest: The result described is the highest or lowest result across a particular demographic sub-group e.g. men, for the specific question being reported. Reference to the result for a demographic sub-group being the highest or lowest does not imply that it is significantly higher or lower, unless this is specifically mentioned.

Index score: A score calculated and represented as a score out of 100 (on a 0 to 100 scale). This score is sometimes reported as a figure in brackets next to the category being described, e.g. men 50+ (60).

Optional questions: Questions which councils had an option to include or not.

Percentages: Also referred to as 'detailed results', meaning the proportion of responses, expressed as a percentage.

Sample: The number of completed interviews, e.g. for a council or within a demographic sub-group.

Significantly higher / lower: The result described is significantly higher or lower than the comparison result based on a statistical significance test at the 95% confidence limit. If the result referenced is statistically higher or lower then this will be specifically mentioned, however not all significantly higher or lower results are referenced in summary reporting.

State-wide average: The average result for all participating councils in the State.

Tailored questions: Individual questions tailored by and only reported to the commissioning council.

Weighting: Weighting factors are applied to the sample for each council based on available age and gender proportions from ABS census information to ensure reported results are proportionate to the actual population of the council, rather than the achieved survey sample.

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JWS RESEARCH

8.5 REPORTS FROM COUNCILLORS

Nil

9. OTHER BUSINESS

9.1 NOTICES OF MOTION

Nil

9.2 QUESTIONS FROM COUNCILLORS

Nil

9.3 URGENT BUSINESS

Nil

9.4 ANY OTHER BUSINESS

9.5 MATTERS WHICH MAY EXCLUDE THE PUBLIC**RECOMMENDATION:**

That pursuant to section 66(1) and (2)(a) of the *Local Government Act 2020* the meeting be closed to the public to consider the following reports that are considered to contain confidential information on the grounds provided in section 3(1) of the *Local Government Act 2020* as indicated:

- | | | |
|-------|--|---|
| 9.5.1 | C124 2023/24 WYCHEPROOF
WETLANDS WATER INFRASTRUCTURE
CONSTRUCTION | (g(ii)) private commercial information, being information provided by a business, commercial or financial undertaking that if released, would unreasonably expose the business, commercial or financial undertaking to disadvantage |
| 9.5.2 | C119 2023/24 BITUMINOUS
SURFACING | (g(ii)) private commercial information, being information provided by a business, commercial or financial undertaking that if released, would unreasonably expose the business, commercial or financial undertaking to disadvantage |

RECOMMENDATION:

That Council reopens the meeting to the public pursuant to section 66(1) and (2)(a) of the *Local Government Act 2020*.

10. MEETING CLOSE